

GENERAL NOTES		VICINITY MAP	
1. CONTRACTOR TO FURNISH AND MAINTAIN TEMPORARY SANITARY FACILITIES AS REQUIRED DURING CONSTRUCTION. 2. ALL REQUIRED WORK AND ALL REPAIR OF DAMAGES ON AND OFF PUBLIC PROPERTY (SIDEWALK, CURB, STREET, ETC.) OCCURRING AS RESULT OF CONSTRUCTION PROCEDURE, ETC., SHALL BE DONE ACCORDING TO GOVERNING REGULATIONS, SPECIFICATIONS, ETC., MATCH AND PATCH THIS WORK TO BE CONSISTENT WITH SAID ADJOINING CONDITIONS AT NO EXTRA COST. 3. PROVIDE AND COORDINATE SITE PLUMBING, DRAINAGE, ELECTRICAL, TELEPHONE, ETC., WORK TO PROVIDE COMPLETE OPERATING SYSTEMS. ALL NECESSARY WORK INVOLVING EXISTING CURBS, STREETS, SIDEWALKS, ETC., TRENCHING, BACK FILLING, REPAIRING, ETC., INSIDE AND OUTSIDE OF PROPERTY LINES SHALL BE PROVIDED. 4. FOR UTILITIES, SEE PLUMBING AND ELECTRICAL DRAWINGS FOR BUILDING WORK. SEE CIVIL AND ELECTRICAL DRAWINGS FOR SITEWORK. 5. ALL ROOF DRAINS DISCHARGING RAIN WATER WITHIN 25 FEET OF PROPERTY LINES AT STREETS, SHALL BE CONDUCTED TO DRAINAGE WITHOUT SHEET FLOW OVER SIDEWALKS. SEE BUILDING, PLUMBING AND CIVIL DRAWINGS. 6. PROVIDE PEDESTRIAN PROTECTION BARRICADES AND / OR CANOPIES AS REQUIRED BY THE LOCAL AUTHORITIES, OR AS NECESSARY FOR PEDESTRIANS SAFETY. 7. ALL WORK MATERIALS, METHODS, ETC., SHALL CONFORM TO ALL GOVERNING CODES, REGULATIONS AND AGENCIES. 8. GOVERNING CODES AND FIRE DEPARTMENT FIELD INSPECTOR SHALL DICTATE SIZE, TYPE, QUANTITY AND LOCATIONS OF REQUIRED PORTABLE FIRE EXTINGUISHERS. (NIC) 9. GLASS AND GLAZING TO COMPLY WITH 16 CFR PART 2101 OF CONSUMER PRODUCT SAFETY COMMISSION. 10. CONTRACTOR SHALL VISIT THE JOBSITE AND VERIFY ALL DIMENSIONS AND CONDITIONS THEREON BEFORE COMMENCING WORK. REPORT ANY DISCREPANCIES AND / OR POTENTIAL PROBLEMS TO THE ARCHITECT IN WRITING. 11. DURING CONSTRUCTION, CONTRACTOR SHALL PROVIDE AND MAINTAIN FIRE EXTINGUISHERS AS REQUIRED BY THE FIRE DEPARTMENT FIELD INSPECTOR. 12. CONTRACTOR SHALL PROVIDE ALL CEILING OR WALL ACCESS PANELS (OR ACCESS DOORS) AS REQUIRED BY THE AIR CONDITIONING, PLUMBING AND ELECTRICAL SYSTEMS. 13. ALL DIMENSIONS SHOWN ARE TO CENTER LINE OF COLUMNS AND BEAMS, FACE OF STUDS UNLESS OTHERWISE NOTED. 14. ALL OCCUPIABLE AREAS OF THE BUILDING SHALL BE MECHANICALLY VENTILATED. THE VERY MINIMUM AIR CHANGE PER HOUR SHALL NOT BE LESS THAN TWO PER HOUR. SEE MECHANICAL. 15. ALL TOILET ROOMS SHALL BE VENTILATED WITH 5 MINUTE AIR CHANGE BY MECHANICAL MEANS. SEE MECHANICAL DRAWINGS. 16. SIGN CONTRACTOR TO OBTAIN SEPARATE PERMITS FROM BUILDING DEPARTMENT FOR INSTALLATION OF ALL SIGNS AS REQUIRED BY LOCAL CODE. 17. THESE DOCUMENTS WILL INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF ARCHITECTURAL DESIGN CONCEPT, THE DIMENSIONS, MAJOR ARCHITECTURAL ELEMENTS AND THE TYPE OF STRUCTURAL, MECHANICAL AND ELECTRICAL SYSTEMS, AS SCOPE DOCUMENTS, THE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE PROJECT. ON THE BASIS OF THE GENERAL SCOPE DESCRIBED, ANY WORK OR MATERIALS NOT DIRECTLY NOTED IN THE CONTRACT DOCUMENTS, BUT NECESSARY FOR THE INTENT THEREOF, ARE IMPLIED AND ARE TO BE PROVIDED FOR AS IF SPECIFICALLY DESCRIBED.		WALTER'S RESTAURANT CLAREMONT 310 N YALE AVE. CLAREMONT, CA 91711 PROJECT NAME: & ADDRESS WALTER'S RESTAURANT 310 N YALE AVE. CLAREMONT, CA 91711 APN 8313-016-031 TENANT NAME: & ADDRESS WALTER'S RESTAURANT 310 N YALE AVE. CLAREMONT, CA 91711 PROPERTY OWNER / MANAGER CONTACT INFORMATION CLAREMONT PROFESSIONAL BUILDING GREG HAFIF ghafif@haff.com DESIGNER: RDCS SERVICE INC / L J CONSTRUCTION 15902 HALLIBURTON RD., #182 HACIENDA HEIGHTS, CA 91744 626-581-5585 LIC. #799342 SCOPE OF WORK: CONSTRUCTION NEW BAR, CONSTRUCTION NEW SUB-FLOOR, NEW ADA RAMP. NO MECHANICAL WORK (ALL EXISTING) TYPE OF CONSTRUCTION: TYPE VB , NO FIRE SPRINKLER OCCUPANCY GROUP: A2 USAGE: RESTAURANT STORIES 1 BUILDING OVERALL HEIGHT 20 FT NOTE: NO CHANGE IN MECHANICAL SYSTEM	
FIRE DEPARTMENT NOTES		NOTES	
1. FIRE SUPPRESSION SYSTEM (ANSUL) CONTRACTOR SHALL SUBMIT PLAN, OBTAIN PERMIT PRIOR TO THE COMMENCEMENT OF WORK FROM FIRE DEPARTMENT. 2. LOCATION & CLASSIFICATION OF FIRE EXTINGUISHERS SHALL BE IN ACCORDANCE WITH C.F.C. STANDARDS AND PLACEMENT IS SUBJECT TO APPROVAL OF FIRE INSPECTOR. 3. STORAGE, DISPENSING, OR USE OF ANY FLAMMABLE AND COMBUSTIBLE LIQUIDS, FLAMMABLE, AND COMPRESSED GASES, AND OTHER HAZARDOUS MATERIAL SHALL COMPLY WITH CALIFORNIA FIRE CODE REGULATIONS. THE STORAGE AND USE OF HAZARDOUS MATERIALS SHALL BE APPROVED BY THE FIRE AUTHORITY PRIOR TO ANY MATERIALS BEING STORED OR USED ON SITE. A SEPARATE PLAN SUBMITTAL IS REQUIRED PRIOR TO THE STORAGE AND USE OF HAZARDOUS MATERIALS. 4. BUILDING(S) NOT APPROVED FOR HIGH-PILED STOCK (MATERIAL IN CLOSELY PACKED PILES OR ON PALLETS, OR IN RACKS WHERE THE TOP OF STORAGE EXCEEDS 12'-0" IN HEIGHT, AND 6'-0" FOR GROUP-A PLASTIC AND CERTAIN OTHER HIGH HAZARD COMMODITIES. HIGH-PILES STOCK SHALL BE APPROVED BY THE FIRE DEPARTMENT PRIOR TO MATERIAL BEING STORED ON SITE. A SEPARATE PLAN SUBMITTAL IS REQUIRED FOR HIGH STORAGE IN ACCORDANCE 5. ALL WEATHER ACCESS ROAD SHALL BE APPROVED BY THE GOVERNING FIRE DEPARTMENT AND IN PLACE BEFORE ANY COMBUSTIBLE MATERIALS ARE PLACED ON SITE. ACCESS ROADS SHALL BE CLEAR OF OBSTRUCTIONS; 6. ACCESS GATES SHALL BE IN COMPLIANCE WITH CALIFORNIA FIRE CODE 2016 AND LOCAL GOVERNING FIRE DEPARTMENT GUIDELINES. A SEPARATE PLAN SUBMITTAL AND APPROVAL BY FIRE DEPARTMENT. 7. PLANS OF NEW OR MODIFICATIONS TO EXISTING FIRE PROTECTION, DETECTION, ALARM, OR MONITORING SYSTEM(S) SHALL BE APPROVED BY THE FIRE DEPARTMENT PRIOR TO INSTALLATION. A SEPARATE PLAN SUBMITTAL AND APPROVAL BY FIRED DEPARTMENT IS REQUIRED PRIOR TO TO THE COMMENCEMENT OF ANY WORK. 8. A LETTER OF INTENDED USE FOR THE STRUCTURE(S) MAY BE REQUIRED BY THE FIRE INSPECTOR. 9. WHEN THE PROJECT INVOLVES THE CONSTRUCTION OF A NEW STRUCTURE OR AN ADDITION TO AN EXISTING STRUCTURE, PLAN AND DOCUMENTATION FO RITE FIRE DEPARTMENT ACCESS, HYDRANT LOCATION, WATER AVAILABILITY AND FIRE LANE MARKINGS SHALL BE SUBMITTED TO AND APPROVED BY THE FIRE DEPARTMENT PRIOR TO THE APPROVAL OF ARCHITECTURAL PLAN. FIRE DEPARTMENT APPROVED SITE PLAN SHALL BE SUBMITTED WITH THE ARCHITECTURAL PLANS. 10. IN STRUCTURES OF UNDETERMINED USE, THE MINIMUM FIRE SPRINKLER DESIGN DENSITY REQUIRED SHALL BE ORDINARY HAZARD GROUP 2 WITH A DESIGN AREA OF 3,000 SQUARE FEET. 11. AN AUTOMATIC EXTINGUISHING SYSTEM SHALL BE PROVIDED TO PROTECT COMMERCIAL TYPE FOOD HEAT PROCESSING EQUIPMENT THAT PRODUCES GREASE-LADEN VAPORS. A SEPARATE PLAN SUBMITTAL IS REQUIRED FOR THE INSTALLATION OF THE SYSTEM AND SHALL BE IN ACCORDANCE WITH C.F.C. 12. ALTERATIONS TO FIRE SPRINKLERS WERE NOT CONSIDERED IN THIS REVIEW. ARE PERMITTED SEPARATELY AND WILL REQUIRE A SEPARATE SUBMITTAL. 13. MIN. 6 INCHES SUITE NUMBERS SHALL BE PROVIDED ON FRONT AND REAR DOORS.		1. RESTROOMS SHALL BE MADE AVAILABLE FOR BOTH CUSTOMERS AND EMPLOYEES. (422.4 CPC) 2. MODIFIED FIRE SPRINKLER PLANS AND FIRE-LIFE-SAFETY PLANS SHALL BE SUBMITTED FOR REVIEW, APPROVAL AND PERMIT ISSUANCE. CBC 107.2.2) 3. NO FRAMING OR T-BAR APPROVALS WILL BE GRANTED WITHOUT THE FIRE DEPARTMENT APPROVAL FOR THE FIRE SPRINKLERS. 4. EXIT DOORS AND GRILLES SHALL BE OPENABLE FROM WITHIN WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT WHEN THE SPACE IS OCCUPIED. (CBC 1008.1.4.4 & 1008.19.3 #2) 5. LIGHTING AND MECHANICAL FIXTURES MUST BE SUPPORTED BY ADDITIONAL INDEPENDENT NO. 12 GAGE WIRES ATTACHED TO EACH CORNER OF FIXTURE.(ASCE 7 SECTION 13.5.6.2.2, CISCA) 6.EXISTING SITE, ACCESSIBLE PARKING STALLS, RESTROOMS, ETC. SHALL FULLY COMPLY WITH CURRENT DISABLED ACCESS DESIGN REQUIREMENTS; AND SUBJECT TO FIELD VERIFICATION & APPROVAL. (CBC 11B-202)	
ADDITIONAL NOTES		BUILDING NOTES	
1. PLUMBING DRAIN WASTE AND VENT AND/OR MECHANICAL DUCTING AND/OR ELECTRICAL WIRING DIAGRAMS OR DRAWINGS MAY BE REQUIRED BY THE FIELD INSPECTOR AND WILL BE PROVIDED UPON REQUEST. ELECTRICAL LOAD CALCULATIONS MAY BE REQUIRED BY THE FIELD INSPECTOR AND WILL BE PROVIDED UPON REQUEST. 2. THE FOLLOWING A & B, SHALL BE PROVIDED TO THE BUILDING FIELD INSPECTOR BEFORE ANY FOUNDATION INSPECTION WILL BE PERFORMED. ITEM C SHALL BE PROVIDED BEFORE THE SHEAR AND ROOF INSPECTION. ITEM D SHALL BE PROVIDED BEFORE A FRAME INSPECTION WILL BE PERFORMED. 2.1. BUILDING SETBACKS TO PROPERTY LINES AND PAD ELEVATION(S) MUST BE VERIFIED BY A SURVEYOR. THIS MUST BE IN THE FORM OF A PROFESSIONAL REPORT, STAMPED AND SIGNED BY THE RESPONSIBLE PARTY. THE REPORT MUST STATE THAT THE BUILDING IS IN SUBSTANTIAL COMPLIANCE TO THE APPROVED SOILS REPORT. THIS REPORT MUST BE SUBMITTED TO THE FIELD INSPECTOR AT TIME OF FOUNDATION INSPECTION. 2.2. PAD COMPACTION MUST BE VERIFIED BY A SOILS ENGINEER. THIS MUST BE IN THE FORM OF A PROFESSIONAL REPORT, STAMPED AND SIGNED BY THE RESPONSIBLE PARTY. THE REPORT MUST STATE THAT THE BUILDING IS IN SUBSTANTIAL COMPLIANCE TO THE APPROVED SOILS REPORT. THIS REPORT MUST BE SUBMITTED TO THE FIELD INSPECTOR AT TIME OF FOUNDATION INSPECTION. 2.3. FINISH FLOOR ELEVATIONS MUST BE VERIFIED BY A SURVEYOR. THIS MUST BE IN THE FORM OF A PROFESSIONAL REPORT, STAMPED AND SIGNED BY THE RESPONSIBLE PARTY. THIS REPORT MUST STATE THAT THE BUILDING IS IN SUBSTANTIAL COMPLIANCE TO THE APPROVED PLANS. 2.4. ELEVATION OF HIGHEST POINT OF ANY ROOF RIDGE OR ROOF PROJECTION MUST BE VERIFIED BY A SURVEYOR (CUSTOM HOMES ONLY). THIS MUST BE IN THE FORM OF A PROFESSIONAL REPORT, STAMPED AND SIGNED BY THE RESPONSIBLE PARTY. THE REPORT MUST STATE THAT THE BUILDING IS IN SUBSTANTIAL COMPLIANCE TO THE APPROVED PLANS. 3. ALL HOLD DOWN AND ANCHOR BOLTS TO BE IN PLACE AT TIME OF INSPECTION. 4. A SEPARATE CIRCUIT FOR A GARBAGE DISP. AND DISHWASHER. 5. WHERE PENETRATIONS OCCUR THAT THEY COMPLY W/ 2320.11.7.11.9.11.1012.4, CUTTING, NOTCHING AND BORED HOLES.		NOTE: SIGNAGE, FIRE SPRINKLER, FIRE SUPPRESSION ARE UNDER SEPARATE PERMIT FOOD FACILITY WILL OPEN AFTER FINAL INSPECTION AND APPROVAL FROM THIS DEPARTMENT. ALL FOODS AND FOOD CONTACT SURFACES WILL BE PROTECTED FROM CONTAMINATION DURING REMODELING. INDICATE COMMENCEMENT AND ENDING DATES OF THE PROPOSED REMODEL. CONSTRUCTION HOURS ARE FROM 7:00 A.M. UNTIL 8:00 P.M., MONDAY THROUGH SATURDAY. NO WORK IS TO OCCUR ON SUNDAY OR HOLIDAYS THE CITY OF CLAREMONT REQUIRES A CASP REPORT WITH NO DEFICIENCIES FOR WORK PERFORMED AT FINAL.	
SHEET INDEX		SHEET INDEX	
T-1.0 COVER SHEET / NOTE T-2.0 SITE PLAN T-3.0 DEMOLITION PLAN T-3.1 FLOOR PLAN T-3.2 EGRESS ROUT T-3.3 PROPOSED BAR PLAN / REFLECTED CEILING PLAN T-4.0 SCHEDULE / DETAIL T-5.0 DETAIL T-5.1 DETAIL T-6.0 CALGREEN T-6.1 CALGREEN T-6.2 CALGREEN E-1.0 NOTE E-1.1 SINGLE LINE / PANEL SCHEDULE E-2.0 POWER / LIGHTING PLAN E-2.1 EMERGENCY LIGHTING & PHOTOMETRICS E-2.2 LIGHT FIXTURE CUT SHEET E-3.0 TITLE 24 E-3.1 TITLE 24 P-1.0 NOTES P-2.0 PLUMBING DETAIL P-3.0 H & C WATER P-3.1 WASTE PIPE		ALL CONSTRUCTION TO COMPLY W/ LOCAL CODES & ORDINANCES & THE FOLLOWING: APPLICABLE BUILDING CODES: 2022 CALIFORNIA BUILDING CODE (CBC) 2022 CALIFORNIA MECHANICAL CODE (CMC) 2022 CALIFORNIA PLUMBING CODE (CPC) 2022 CALIFORNIA ELECTRICAL CODE (CEC) 2022 CALIFORNIA FIRE CODE (CFC) 2022 CALIFORNIA ENERGY CODE	

COVER SHEET / NOTES

WALTER'S RESTAURANT

310 N. YALE AVE. CLAREMONT CA 91711

Date: 02/25/2025

Scale: AS SHOWN

Drawn: JC

Job:

Sheet

T-1.0

NOTE: NO ABRUPT CHANGES IN ELEVATION ALONG THE PATH OF TRAVEL SHOWN. THE SLOPE AND CROSS-SLOPE ALONG THE PATH OF TRAVEL SHALL NOT EXCEED 5% AND 2% RESPECTIVELY. INSPECTOR TO VERIFY.

LEGEND

----- PATH OF TRAVEL

REVISIONS

△	07/23/2025
△	08/15/2025
△	
△	
△	
△	



SITE PLAN

WALTER'S RESTAURANT

310 N. YALE AVE. CLAREMONT CA 91711

Date: 02/25/2025

Scale: AS SHOWN

Drawn: JC

Job:

Sheet

T-2.0

N Yale Ave

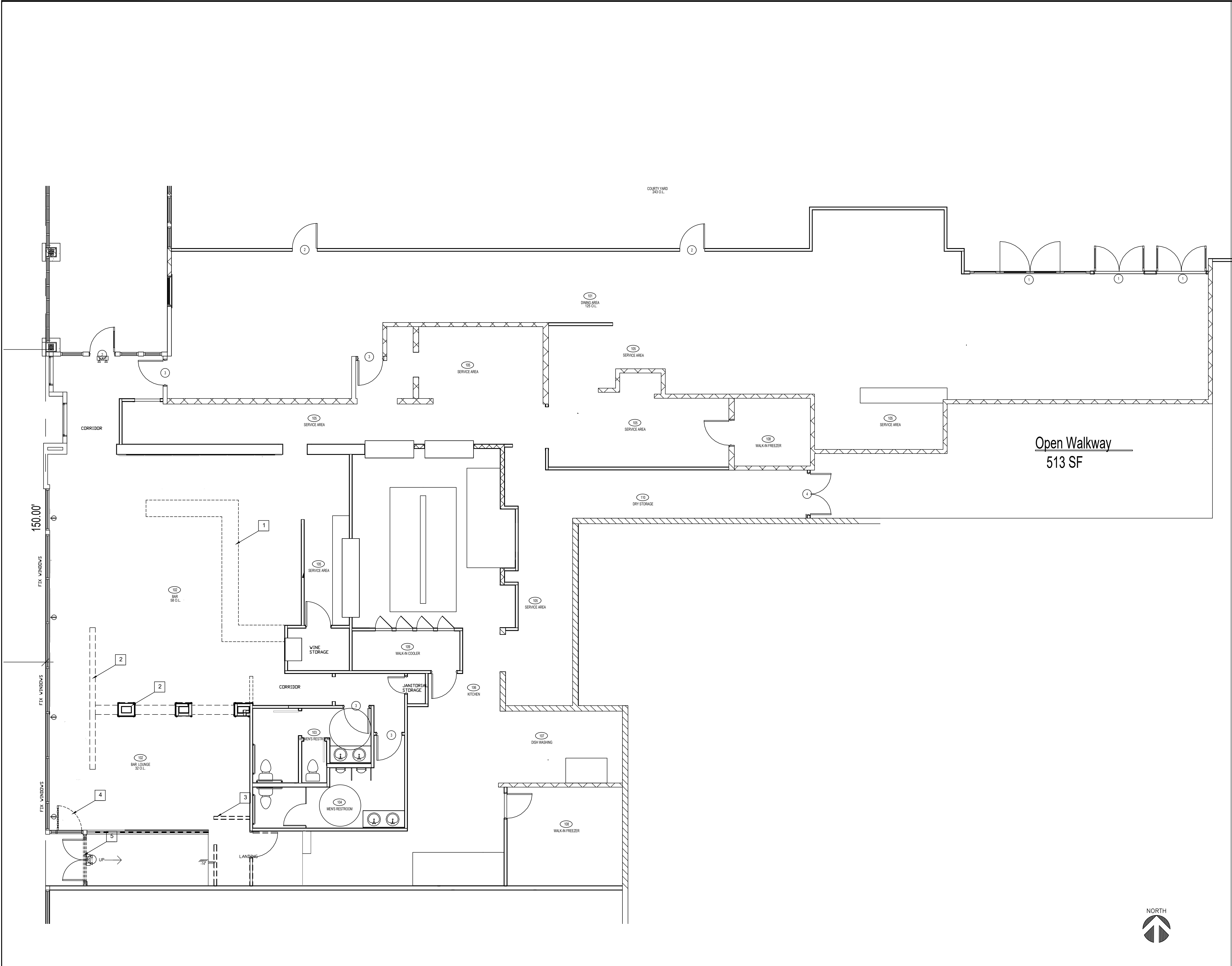
Alley 41

W Bonita Ave

SITE PLAN

SCALE: 3/32"=1'-0"

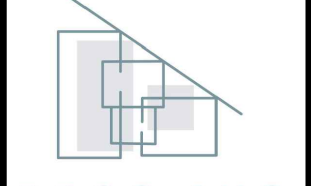




KEY NOTE	
1	REMOVE EXISTING BAR
2	REMOVE LOW NONE BEARING WALL
3	REMOVE NONE BEARING WALL
4	REMOVE EXISTING DOOR
5	REMOVE EXISTING STOREFRONT GLASS

REVISIONS

1	07/23/2025
2	08/15/2025
3	
4	
5	
6	



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DEMOLITION PLAN

WALTER'S RESTAURANT

310 N. YALE AVE. CLAREMONT CA 91711

Date: 02/25/2025

Scale: AS SHOWN

Drawn: JC

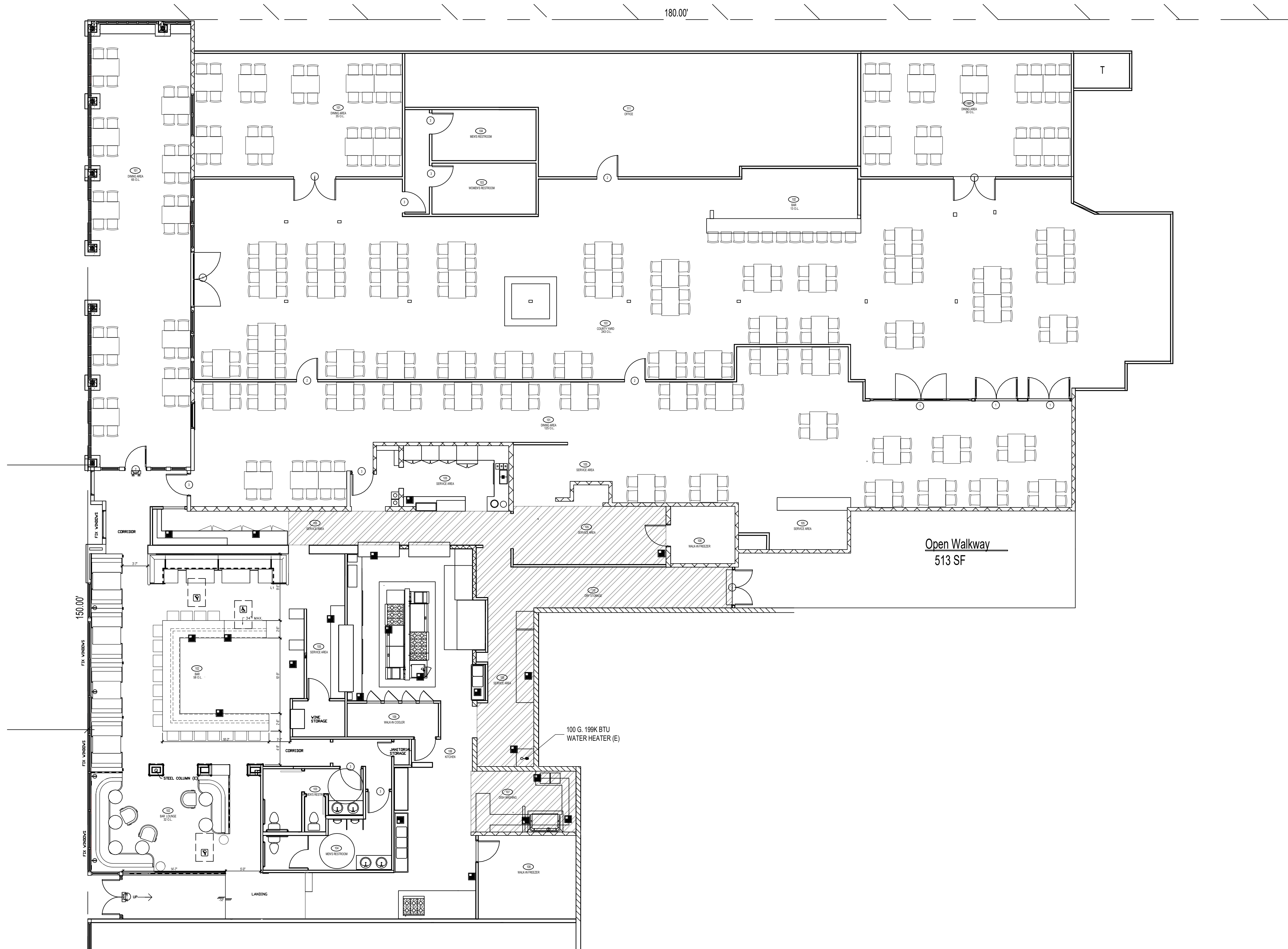
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T-3.0

DEMOLITION PLAN

SCALE: 3/16"=1'-0"



LEGEND

	2x4 STUD WALL (EXISTING)
	2x6 STUD WALL (EXISTING)
	CMU WALL (EXISTING)
	STORE FRONT (FIXED)
	EXIT LIGHT WITH BATTERY BACKUP
	EXIT LIGHT W/ EMERGENCY LIGHT W/BATTERY BACKUP EMERGENCY POWER
	DOOR NUMBER
	WINDOW NUMBER
	EQUIPMENT NUMBER
	ROOM OR SPACE NUMBER
	EXISTING
	NEW
	RELOCATED
	ELECTRICAL PANEL
	DEXPLX RECEPTACLE OUTLET
	JUNCTION BOX
	ELECTRICAL SWITCH
	EXHAUST FAN
	LED PENDANT LIGHT
	WALL SCONCE
	2x4 PANEL LED LIGHT
	FIRE REPAIR AREA



FLOOR PLAN

SCALE: 1/8"=1'-0"

1

REVISIONS

1	07/23/2025
2	08/15/2025
3	
4	
5	
6	



FLOOR PLAN

WALTER'S RESTAURANT

310 N. YALE AVE. CLAREMONT CA 91711

Date: 02/25/2025

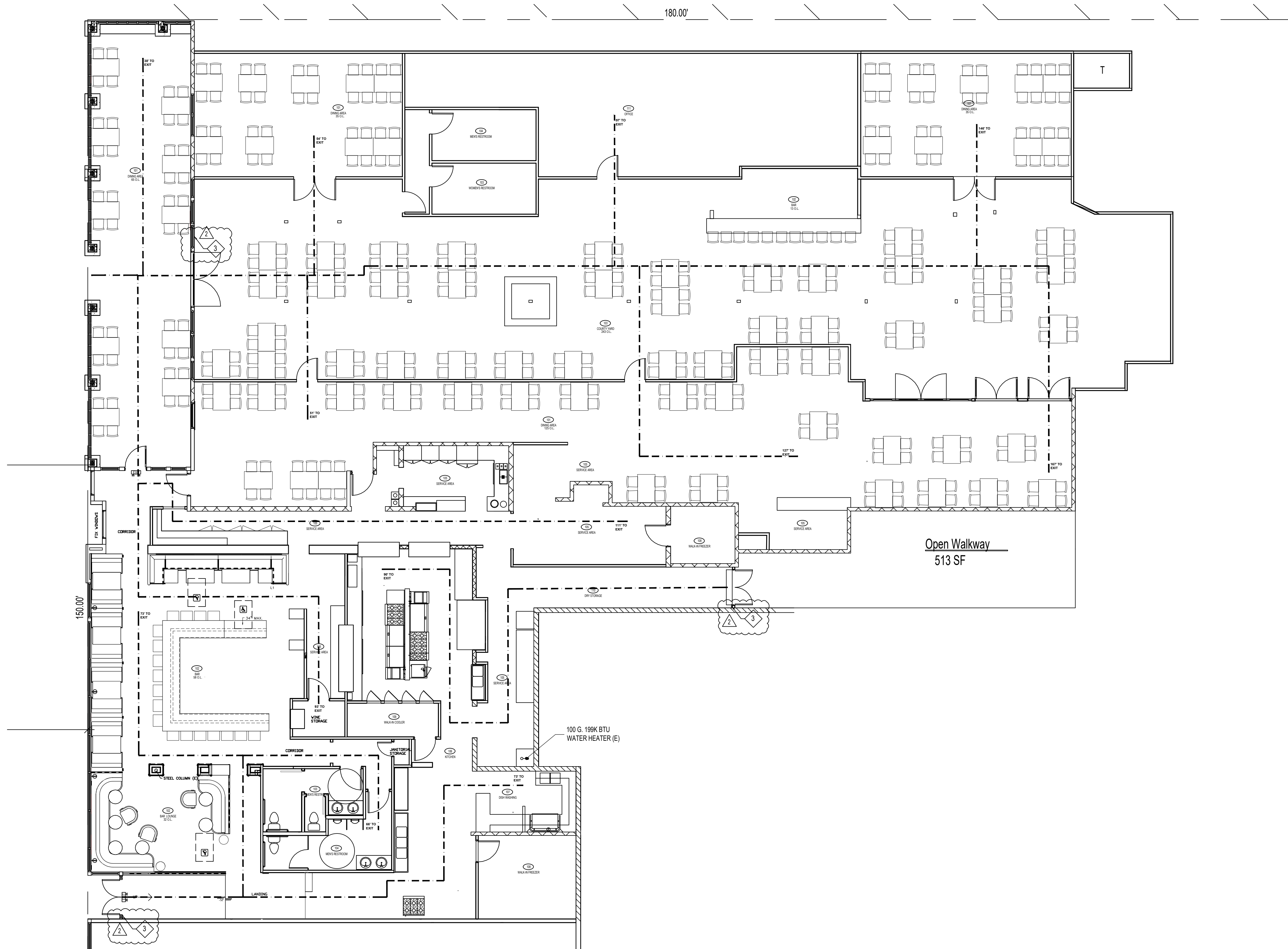
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T-3.1



LEGEND

----- EGRESS ROUT

3 PROVIDE INTERNATIONAL ACCESS SIGNS SEE DETAILS 8/T-5.1 AND TACTILE EXIT SIGNAGE AT MAIN ENTRANCE AND ALL EXITS PER CBC 11B-703 AND CBC 1011.3 & 1117B.5.1. REQUIRED DETAIL ON SHT. 13/T-5.1

2

REVISIONS

07/23/2025

08/15/2025

FLOOR PLAN

SCALE: 1/8"=1'-0"

1



EGRESS ROUT

WALTER'S RESTAURANT

310 N. YALE AVE. CLAREMONT CA 91711

Date: 02/25/2025

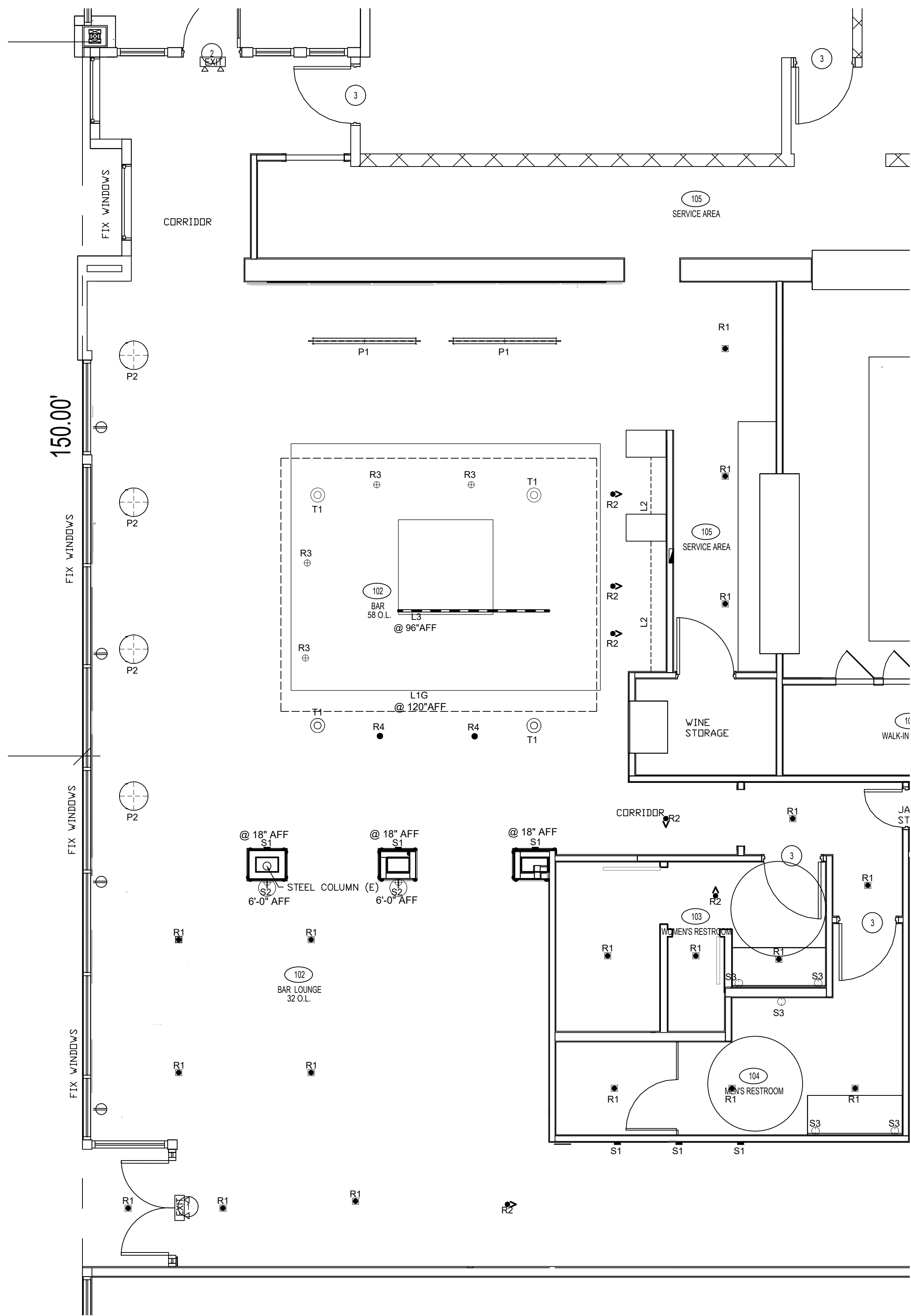
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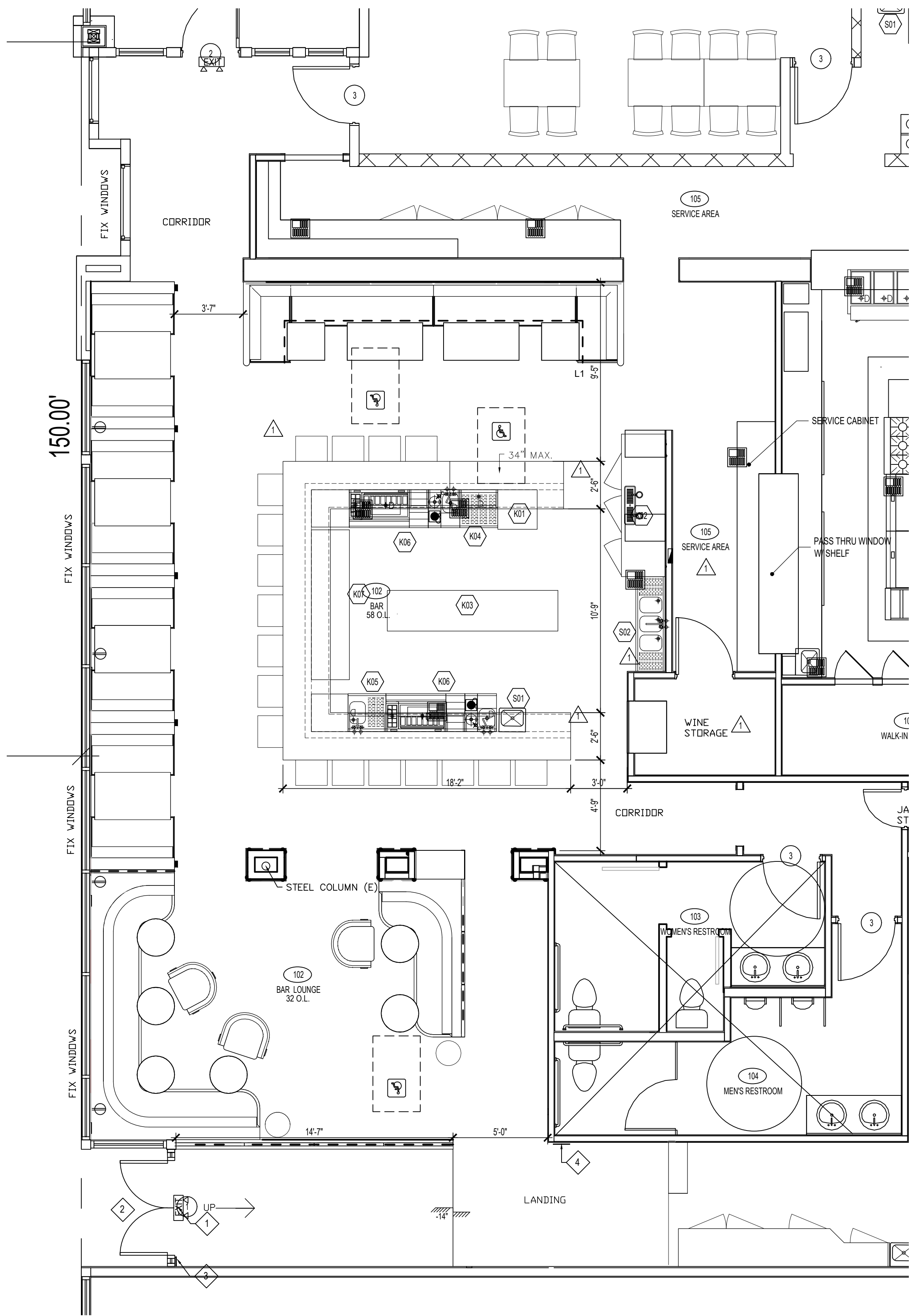
T-3.2



REFELCTED CEILING PLAN

SCALE: 1/4"=1'-0"

2



PROPOSED BAR PLAN

SCALE: 1/4"=1'-0"

1

LEGEND

- WALL TO BE REMOVE
- 42" LOW WALL NON BEARING WALL
- STORE FRONT (FIXED)
- EXIT LIGHT WITH BATTERY BACKUP
- EXIT LIGHT W/ EMERGENCY LIGHT W/ BATTERY BACKUP EMERGENCY POWER
- DOOR NUMBER
- WINDOW NUMBER
- EQUIPMENT NUMBER
- ROOM OR SPACE NUMBER
- EXISTING
- NEW
- RELOCATED
- ELECTRICAL PANEL
- DEPLEX RECEPTACLE OUTLET
- JUNCTION BOX
- ELECTRICAL SWITCH
- EXHAUST FAN
- 4" RECESSED LED LIGHT
- 6" RECESSED LED LIGHT
- LED PENDANT LIGHT
- WALL SCONCE
- 2X4 PANEL LED LIGHT

- THE CONTRACTOR SHALL INSTALL A SIGN ABOVE THE DOOR STATING "THIS DOOR TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED" PER CBC REQUIREMENTS. (SEC. 1010.1.9.3) THIS KEY NOTE IS APPLICABLE TO MAIN EXIT ONLY. ALL OTHER EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
- H/CAP ACCESSIBLE WHEELCHAIR CLEARANCE AREA 60" MIN. CLR. LEVEL LANDING TO EXTERIOR 48" MIN. CLR. LEVEL LANDING TO INTERIOR
- PROVIDE INTERNATIONAL ACCESS SIGNS SEE DETAILS 8/T-5.1 AND TACTILE EXIT SIGNAGE AT MAIN ENTRANCE AND ALL EXITS PER CBC 11B-703 AND CBC 1011.3 & 1117B.5.1. REQUIRED DETAIL ON SHT. 13/T-5.1
- OCCUPANT LOAD SIGN



REVISIONS

- 07/23/2025
- 08/15/2025



PROPOSED BAR PLAN / REFLECTED CEILING PLAN

WALTER'S RESTAURANT

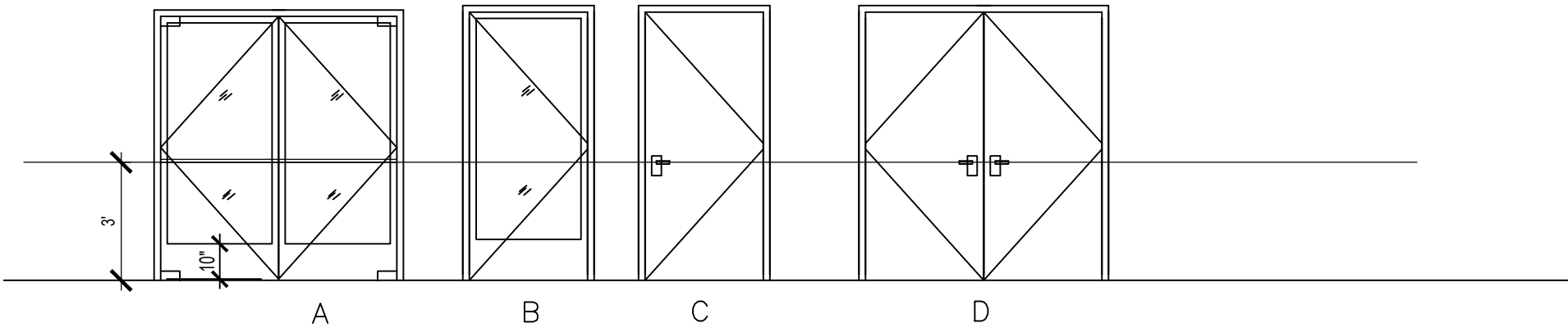
310 N. YALE AVE. CLAREMONT CA 91711

Date: 02/25/2025
Scale: AS SHOWN
Drawn: JC
Job:
Sheet
T-3.3

DOOR SCHEDULE																												
DOORS											FRAMES				HARDWARE								REMARKS					
ITEM	TYPE	WIDTH	HEIGHT	THICKNESS	MATERIAL	HOLLO CORE	SOLID CORE	SWING	FIRE RATING	FACTORY FINISH	MATERIAL	HOLLOW CORE	SOLID CORE	DETAIL			PIVOT HINGE	KEY	BUTTS	WALL / FLOOR STOP				PUSH & KICK PLATE	LEVER TYPE HANDLE	TIGHT FITTING	DOUBLE ACTING HINGE	
														SILL	JAMB	HEAD												
①	A	5'-0"	7'-0"	1 3/4"	TEMPER GLASS						ALUM			2	1	1												
②	B	3'-0"	7'-0"	1 3/4"	TEMPER GLASS						ALUM																	(EXISTING)
③	C	3'-0"	6'-8"	1 3/4"	WOOD						METAL			1	1	1												(EXISTING)
④	D	5'-0"	7'-0"	1 3/4"	METAL						METAL			2	1	1												(EXISTING)

NOTES:

1. ALL DOORS SHALL BE PROVIDED WITH LEVER TYPE HARDWARE.	9. HAND ACTIVATED DOOR OPENING HARDWARE SHALL BE CENTERED BETWEEN 34" AND 44" ABOVE THE FLOOR. (SEC11B-404.2.10) 
2. ALL DOOR HARDWARE & RESISTANT PRESSURE MUST COMPLY WITH A.D.A. AND TILE 24 STANDARDS.	10. THE BOTTOM 10 INCHES OF ALL DOORS, SHALL HAVE A SMOOTH, UNINTERRUPTED SURFACE. CBC 11B-404.2.10 
3. ALL RATED DOORS SHALL HAVE AN "S" LABEL.	11. ROLL UP DOORS SHALL BE PROPERLY RODENT PROOF ON THE SIDES, TOP & BOTTOM AREAS OF DOORS
4. PROVIDE PANIC HARDWARE FOR ALL EXIT DOORS AND COMPLY WITH UBC STANDARD 10-4	
5. PROVIDE SELF-CLOSING EXTERIOR AND RESTROOMS DOORS	
6. MAX. OPERATING PRESSURE 5# INTERIOR & EXTERIOR DOORS	
7. DOORS IN THE MOVE SYSTEM TO BE OPENABLE FROM INSIDE WITHOUT ANY USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT (SEC. 100.3.1.8).	
8. EXIT DOORS WILL BE A MINIMUM OF 3 FEET BY 6'-8" WITH A MINIMUM DOOR SWING OF 90 DEGREES.	

[illegible]

HEALTH DEPARTMENT NOTES

1. ALL EQUIPMENT SHALL MEET NATIONAL SANITATION FOUNDATION DESIGN AND INSTALLATION OR ITS EQUIVALENT.
2. LIGHT FIXTURES IN FOOD PREPARATION, OPEN FOOD STORAGE AND UTENSIL WASHING AREAS ARE TO BE PROTECTED AGAINST BREAKAGE THROUGH THE USE OF PLASTIC SLEEVES, SHATTER PROOF BULBS AND OR OTHER APPROVED DEVICES.
3. EXTERIOR DOORS SHALL BE SELF-CLOSING AND FIT TO A MAXIMUM 1/4" AT THE BASE AND SIDES
4. PROVIDE PERMANENTLY MOUNTED SINGLE SERVICE SOAP AND TOWEL DISPENSERS AT ALL HAND SINKS.
5. TOILET ROOMS AND DRESSING ROOM DOORS SHALL BE SELF-CLOSING.
6. SEAL ALL CRACKS AND CREVICES IN COUNTERS, CABINETS, AROUND METAL FLASHING, SINK BACK SPLASHES, AND AROUND PIPES AND CONDUITS WITH A NON-HARDENING SILICONE SEALANT.
7. PROVIDE AN AREA OR CABINET FOR STORAGE OF CLEANING EQUIPMENT AND SUPPLIES AWAY FROM FOOD PREPARATION, UTENSIL WASHING, AND FOOD STORAGE AREAS.
8. A ROOM, ENCLOSURE, OR DESIGNATED AREA SHALL BE PROVIDED WHERE EMPLOYEES MAY CHANGE AND STORE CLOTHES.
9. PRIOR TO STARTING CONSTRUCTION, SUBMIT THREE(3) SETS OF PLANS TO YOUR LOCAL BUILDING AND SAFETY DEPARTMENT FOR REVIEW, APPROVAL, AND NECESSARY PERMITS.
10. EXHAUST AND MAKE-UP AIR SYSTEMS SHALL BE ELECTRICALLY INTERLOCKED WITH ONE SWITCH.
11. DRY FOOD STORAGE OF AT LEAST 96 LINEAR FT. OF NSF CERT. STORAGE SHELVES SHALL BE PROVIDED
12. AT LEAST 50 FT-CANDLE LIGHTING SHALL BE PROVIDED IN KITCHEN AND ANY FOOD PREP AREA
13. EXTERIOR WINDOWS SHALL BE FIXED/(NON -OPERABLE OR MOVABLE
14. RESTROOM DOORS SHALL BE SELF-CLOSING AND RESTROOM VENTILATION WITH MIN. 50 CFM. SHALL BE LIGHT SWITCH ACTIVATED IF THE VENTILATION IS NOT CONTINUOUSLY ACTIVE
15. ALL EQUIPMENT SHALL BE EASILY MOVABLE E.G. ON CASTERS, NO 6" LEGS / CLEARANCE FROM THE FLOOR OR SEALED TO MIN 4" SOLID MASONRY ISLAND WITH MIN. 3/8" COVERED BASE. IF ON AN ISLAND, IT SHALL OVERHANG THE BASE AT LEAST 2" BUT, NO MORE THAN THE HEIGHT OF THE ISLAND.
16. ALL CONDUITS, DUCTS, PLUMBING & ELECTRICAL ARE CONCEALED WITHIN THE WALLS AND CEILING IN ALL THE FOOD/EMPLOYEE AREA.
17. THE WALL & CEILING SURFACES PAINTED FIN. SHALL BE "SMOOTH-NO TEXTURE" & "LIGHT COLOR (70% OR GREATER LIGHT REFLECTANCE VALUE)"
18. THE FLOOR SURFACES SHALL BE SMOOTH, DURABLE, EASY TO CLEAN, AND NON-ABSORBENT.
19. ALL WALLS AND CEILINGS (EXCEPT IN THE OFFICE AREA) SHALL BE SMOOTH, DURABLE, AND EASILY CLEANABLE (GLOSS OR SEMI-GLOSS).
20. USE ONLY APPROVED CONCRETE SEALER/VENDOR.
21. THE WALK-IN REFRIGERATION / FREEZER UNITS MUST BE CONFORM WITH APPLICABLE NSF INTERNATIONAL STANDARDS AND BE COMPLETELY FLASHED TO THE BUILDING'S WALLS AND CEILING. THE AREAS ABOVE WALK-IN UNITS MAY NOT BE USED FOR STORAGE.
22. ALL SHELVES IN WALK-IN REFRIGERATION UNITS MUST BE SUPPORTED BY SIX (6) INCH HIGH, EASILY CLEANABLE LEGS OR BE CANTILEVERED OFF WALL.
23. THE FLOOR FINISH FOR THE WALK-IN FREEZER UNIT MUST BE SMOOTH, NONABSORBENT EASILY CLEANABLE, AND DURABLE DIAMOND PLATE OR SKP PLATE FLOOR FINISH FOR THE WALK-IN REFRIGERATION UNITS IS NOT ACCEPTABLE.
24. ALL COVE BASE MATERIALS ARE TO BE SMOOTH, DURABLE & NON ABSORBENT IN EMPLOYEE AREAS.
25. PROVIDE MOISTURE RESISTANCE GYP. IN RESTROOM.
26. PROVIDE 81/2 FRP BEHIND KITCHEN SINKS AND 18" DRAINBOARD

REVISIONS	
1	07/23/2025
2	08/15/2025
3	
4	
5	
6	
 RDICS INC Space Planning. Interior Design. 626-581-5585 www.rdcsservice.com	

SCHEDULE / DETAILS

WALTER'S RESTAURANT

310 N. YALE AVE. CLAREMONT CA 91711

Date:	02/25/2025
Scale:	AS SHOWN
Drawn:	JC
Job:	
Sheet	T-4.0