

ABBREVIATIONS

ABV.	ABOVE	RM.	ROOM
A/C	AIR CONDITIONING	RO.	ROUGH
ADJ.	ADJUSTABLE	R.O.	ROUGH OPENING
ALT	ALTERNATE	R/S	RESAWN
AMP.	AMPERAGE	RDWD.	REDWOOD
BD.	BOARD	Ø	ROUND OR DIAMETER
CL	CENTER LINE	S & P	SHELF AND POLE
CAB.	CABINET	S.A.G.	SUPPLY AIR GRILLE
C.I.	CAST IRON	SCHED.	SCHEDULE
C.J.	CEILING JOIST	S.C.	SOLID CORE
CLG.	CEILING	S.D.	SMOKE DETECTOR
CONC.	CONCRETE	S.H.	SINGLE HUNG
CPT.	CARPET	S.H.	SINGLE HUNG
C.T.	CERAMIC TILE	SECT.	SECTION
C.W.	COLD WATER	SH.	SHELF
D.	DRYER	SHTG.	SHEATHING
DBL.	DOUBLE	SHR.	SHOWER
D.G.	DUAL GLAZED	SHT.	SHEET
DIA./Ø	DIAMETER	SIM.	SIMILAR
DIM.	DIMENSION	SL.	SLIDING
DISP.	DISPOSAL	SL. GL.	SLIDING GLASS
DP.	DEEP	SLPG.	SLOPING
DR.	DOOR	SPEC.	SPECIFICATION
D.S.	DOWNSPOUT	SPR.	SPRINKLER
DTL.	DETAIL	SQ.	SQUARE
D.W.	DISHWASHER	SQ.F.T	SQUARE FOOT/ SQUARE FEET
EA.	EACH	S.STL.	STAINLESS STEEL
(E)	EXISTING	ST.	STREET
ELEV.	ELEVATION	STD.	STANDARD
EQ.	EQUAL	STL.	STEEL
EXH.	EXHAUST	STOR.	STORAGE
EXT.	EXTERIOR	STRUCT.	STRUCTURE
FAU	FORCED AIR UNIT	SYN.	SYNTHETIC
FIX.GL.	FIXED GLASS	SYS.	SYSTEM
F.G.	FUEL GAS	S.V.	SHEET VINYL
FIN.	FINISH	T#B	TOP#BOTTOM
FLR.	FLOOR	T#G	TONGUE & GROOVE
FL.	FLUSH	T.B.	TOWEL BAR
FLR. LINE	FLOOR LINE	T.C.	TOP OF CURB/TOP OF CONC.
FLUOR.	FLUORESCENT	TEL.	TELEPHONE
FR.	FRAME	TEMP.	TEMPERED
FRM'G.	FRAMING	TEMP.	TEMPERED
FR. DR.	FRENCH DOOR	THK.	THICK/THICKNESS
FT.	FOOT	THRES.	THRESHOLD
FTG.	FOOTING	T.P.	TOILET PAPER
GA.	GAUGE	TRAN.	TRANSOM
G.D	GARBAGE DISPOSAL	TRD./T.	TREAD
G.F.I.	GROUND-FAULT CIRCUIT INTERRUPTER	T-STAT	THERMOSTAT
G.I.	GALVANIZED IRON	T.V.	TELEVISION
GL.	GLASS	TYP.	TYPICAL
GYP. BD.	GYPSTUM BOARD	TYP.	TYPICAL
H.B.	HOSE BIBB	UNFIN.	UNFINISHED
H.C.	HOLLOW CORE	UNLESS NOTED OTHERWISE	
HDR.	HEADER	UR.	URINAL
HGT./HT.	HEIGHT	V.	VENT
INSUL.	INSULATION	VAR.	VARIES
INT.	INTERIOR	VEN.	VENEER
JST.	JOIST	VENT.	VENTILATION/ VENTILATE
LAM.	LAMINATED	VERT.	VERTICLE
LAV.	LAVATORY	VOL.	VOLUME
LUM.	LUMINOUS	V.T.R.	VENT THROUGH ROOF
M.C.	MEDICINE CABINET	V.T.W.	VENT THROUGH WALL
MFR.	MANUFACTURER	W.	WASHER
MIN.	MINIMUM	W/ OR	WITH OR WITHOUT
MTD.	MOUNTED	W/O	
MTL.	METAL	WARD.	WARDROBE
(N)	NEW	W.C.	WATER CLOSET
N.I.C.	NOT IN CONTRACT	WD.	WOOD
N.T.S.	NOT TO SCALE	WDW.	WINDOW
O/	OVER	W.H.	WATER HEATER
O.A.O.	OR APPROVED OTHER	W.I.	WROUGHT IRON
O.C.	ON CENTER	W.I.C.	WALK IN CLOSET
O.S.A.	OUTSIDE AIR	WID.	WIDTH
OPNG.	OPENING	W.P.	WEATHERPROOF
PL	PROPERTY LINE	W.R.	WATER RESISTENT
P.B.	PUSH BUTTON	WSCT.	WAINSCOT
PH.	PHONE	W.T.	WATERTIGHT
PLT.	PLATE	WT.	WEIGHT
PLYND.	PLYWOOD		
PR.	PAIR		
P.T.D.F.	PRESSURE TREATED DOUGLAS FIR		
R.	RISER		
RAD.	RADIUS		
R.A.G.	RETURN AIR GRILL		
REF.	REFRIGERATOR		
REF.	REFERENCE		
RE/S	RE-SAWN		
REV.	REVERSE		
R.J.	RAFTER JOIST		

SYMBOLS

	BUILDING SECTION SECTION INDICATOR SHEET NUMBER		APPLIANCE SYMBOL APPLIANCE NUMBER FOR APPLIANCE SCHEDULE
	DETAIL REFERENCE DETAIL NUMBER SHEET NUMBER		PLUMBING SYMBOL PLUMBING NUMBER FOR PLUMBING SCHEDULE
	OFFSET REFERENCE DIFFERENTIAL IN FLOOR LEVEL OR FINISH SURFACE		ACCESSORY SYMBOL ACCESSORY NUMBER FOR ACCESSORY SCHEDULE
	REVISION REFERENCE REVISION NUMBER		CEILING HEIGHT CEILING HEIGHT CALL-OUT
	WINDOW SYMBOL WINDOW NUMBER FOR WINDOW SCHEDULE		KEYNOTE SYMBOL KEYNOTE NUMBER
	DOOR SYMBOL DOOR NUMBER FOR DOOR SCHEDULE		
	INTERIOR ELEV. REF. INT. ELEV VIEW SHEET NUMBER		

CODE INFORMATION

APPLICABLE CODES:
THE PROJECT MUST COMPLY WITH THE FOLLOWING CODES:
-2022 CALIFORNIA BUILDING CODE Title 24, part 2
-2022 CALIFORNIA MECHANICAL CODE Title 24, part 4
-2022 CALIFORNIA PLUMBING CODE Title 24, part 5
-2022 CALIFORNIA ELECTRICAL CODE Title 24, part 3
-2022 CALIFORNIA ENERGY CODE Title 24, part 6
-2022 CALIFORNIA GREEN CODE Title 24, part 11
-2022 CALIFORNIA RESIDENTIAL CODE Title 24, part 2.5
-CLAREMONT MUNICIPAL CODES

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2 Working Days Before You Dig

SHEET INDEX

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A3.1	DEMO/EXISTING EXTERIOR ELEVATIONS
A3.2	NEW EXTERIOR ELEVATIONS
A3.3	MATERIAL & COLOR BOARD
A3.4	MATERIAL & COLOR BOARD (3D)

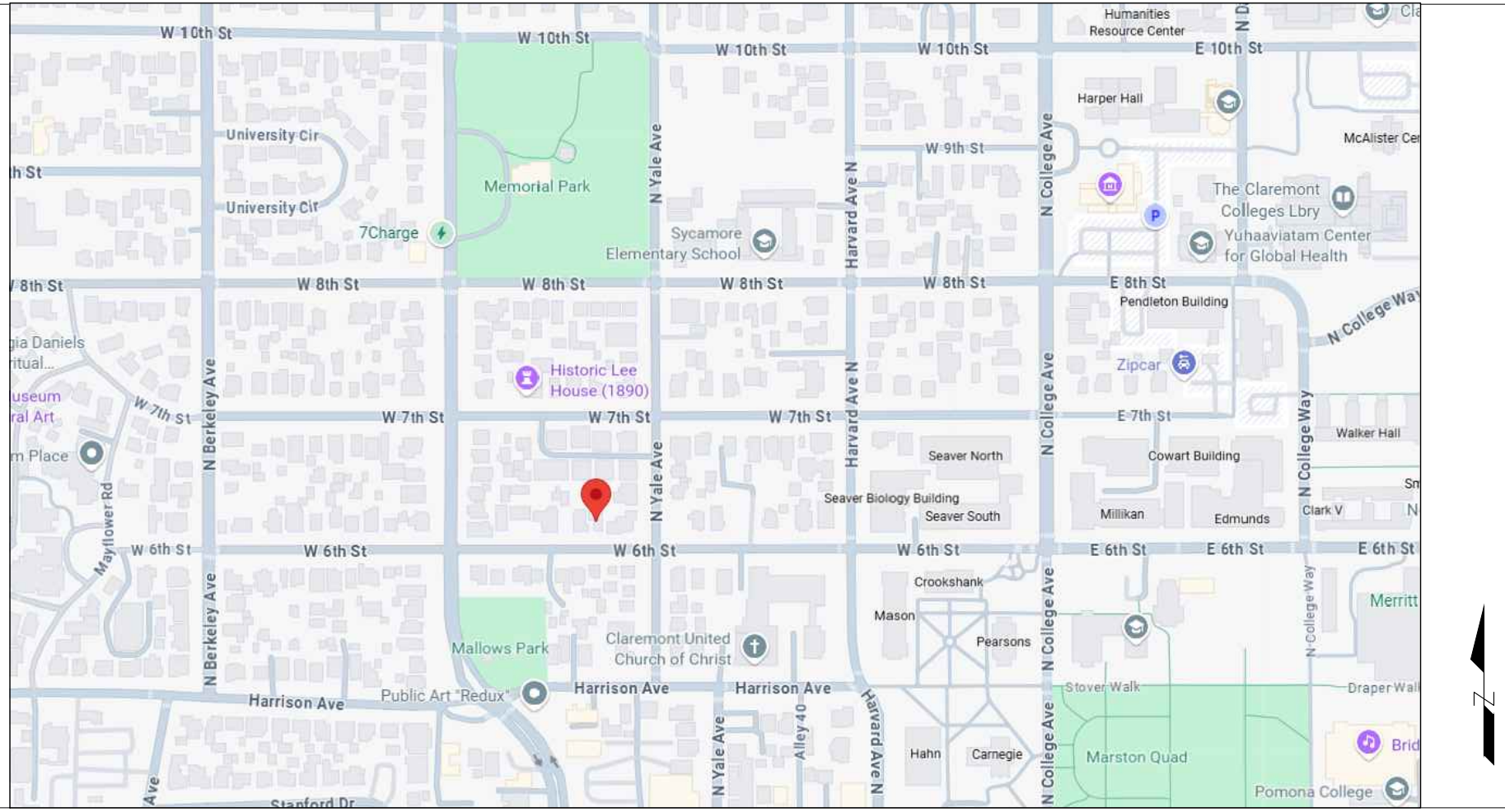
PROJECT DATA

CLIENT INFO: SHAWN HUBLER & ROBERT MAGNUSON 319 W. 6TH STREET CLAREMONT, CA 91711	PROJECT ADDRESS: 319 W. 6TH STREET CLAREMONT, CA 91711	ARCHITECT: MAUREEN CUNNINGHAM EPIC DESIGN BUILD 1440 N. FIRST AVENUE UPLAND, CALIFORNIA 91786 (909) 608-0597 LICENSE # C 27877
CONSTRUCTION TYPE: -TYPE VB -RAISED FOUNDATION -WOOD FRAMED WALLS AND ROOF -WOOD SIDING EXTERIOR FINISH -DRYWALL INT. CEILING/WALL FINISH -ASPHALT COMP. ROOF	LEGAL DISCRPTION: CLAREMONT W 39 FT OF S 75 FT OF LOT 16 BLK 16	

CONSULTANTS

STRUCTURAL ENGINEER TBD	TITLE 24 TBD	ARROW TRUSS TBD
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VICINITY MAP



APN:	8309-026-019
ZONE:	HC-7500
LOT AREA:	2,925 SF
FRONT SETBACK:	20 FT
REAR SETBACK:	5 FT
INT./ST. SIDE SETBACK:	5 FT
MAX. LOT COVERAGE:	35%
MAX. FLOOR AREA ALLOWED:	2,000 sq ft + 15% of lot are (not to exceed 4,688 sq ft) 2,000 sq ft + 438.75 sq ft = 2,438.75 sq ft Existing Residence: 845.87 sq ft from field measurement
MAX. HEIGHT ALLOWED:	MAIN BUILDING: 25' ACCESSORY BLDG: 15' ADU: 16'
PARKING SPACES REQ.	2 COVERED

SQUARE FOOTAGE TABULATION

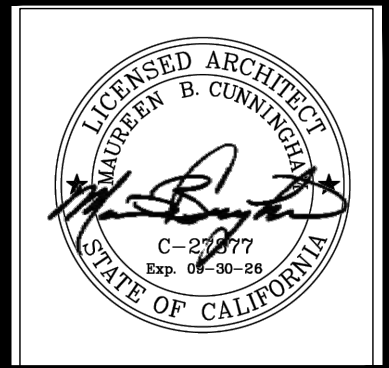
EXISTING LOT COVERAGE CALC:		MAX. LOT COVERAGE CALC:
Existing residence :	846 sq ft	2,925 SF X 35% = 1,023.75 SF
Existing garage:	180 sq ft	
New main house addition:	175 sq ft	LOT COVERAGE % INCREASE CALC:
Total	1,201 sq ft	1,201 SF - 1,023.75 SF = 177.25 SF 177.25 SF / 1023.75 SF = 17%

REQUESTING A MINOR EXCEPTION PERMIT FOR A 17% INCREASE TO MAX. LOT COVERAGE

1

Revisions:	By:	MLR
	Date:	9/29/25
	Remarks:	10/7/25
	1	1

Sheet Title:	TITLE SHEET
	Shawn Hubler & Robert Magnuson 319 W. 6TH STREET CLAREMONT, CA 91711

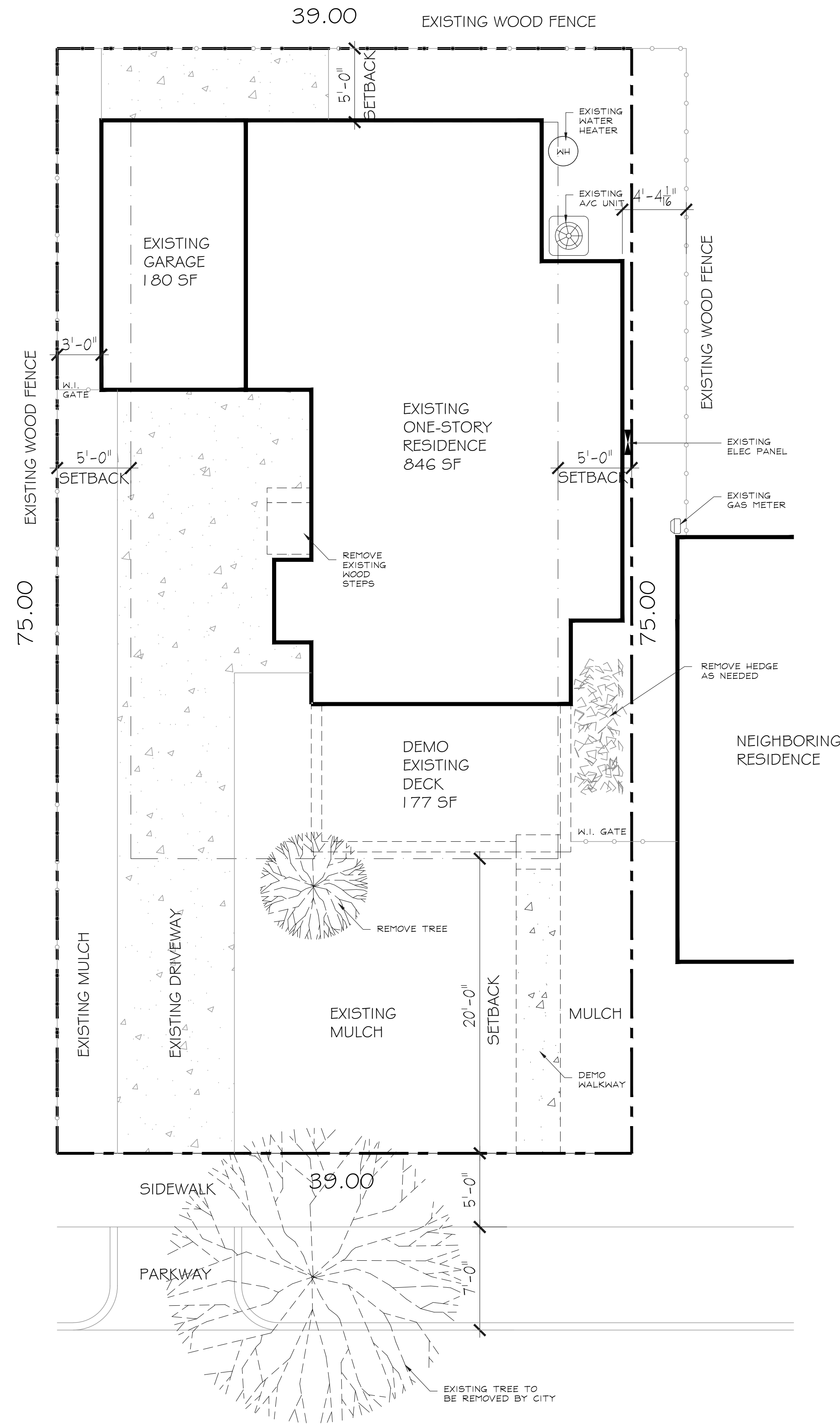


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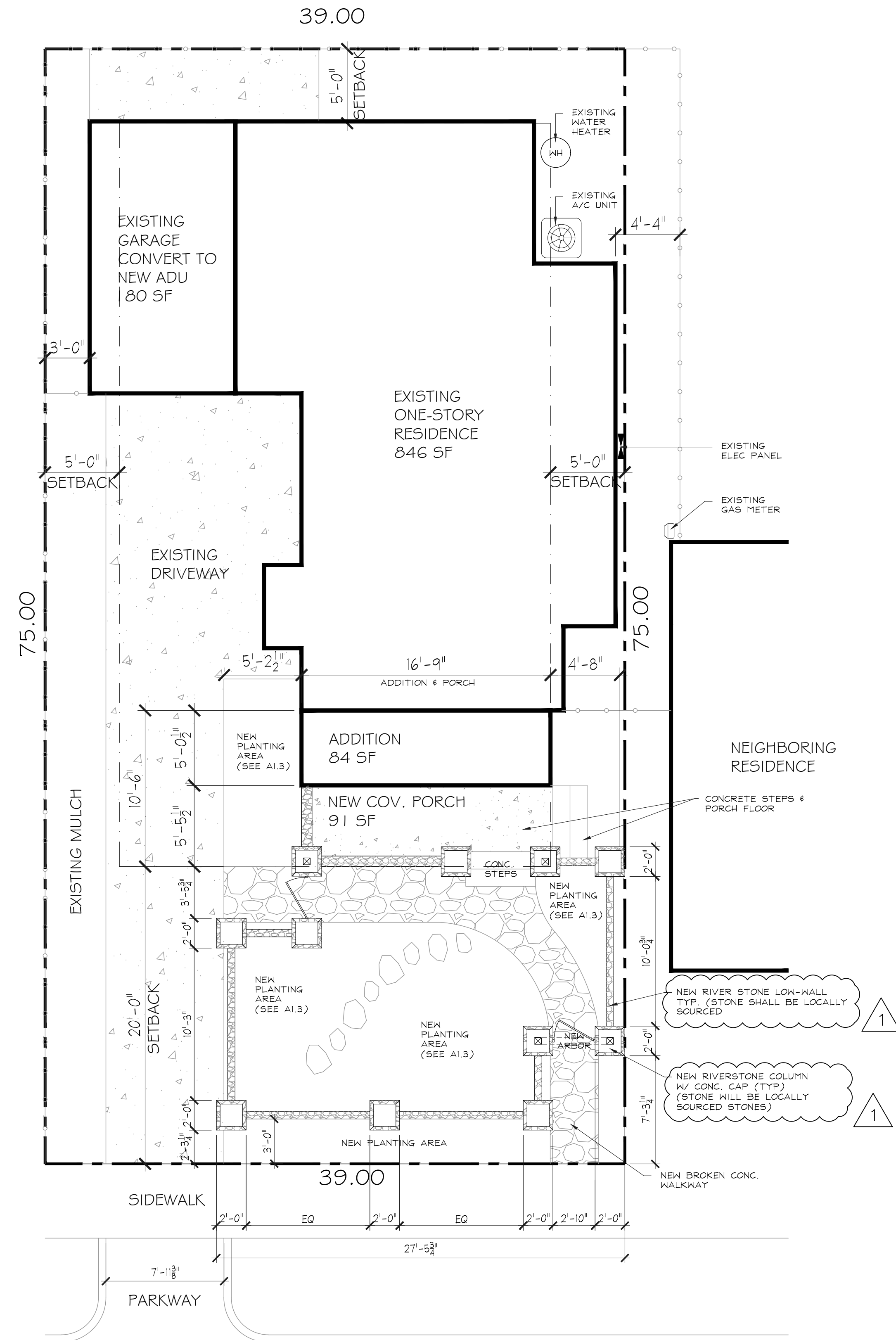
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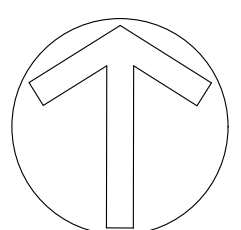
6TH STREET

EXISTING SITE PLAN



6TH STREET

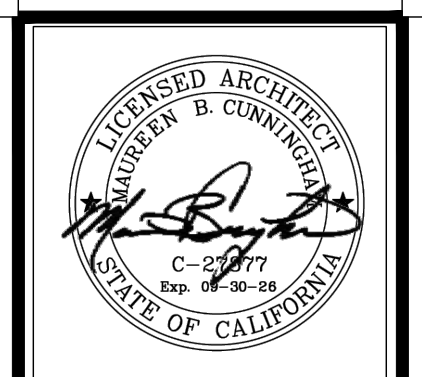
PROPOSED SITE PLAN



SCALE:
3/16" = 1'-0"

Revisions:	Date:	By:	Remarks:
1	10/7/25	MLR	9/29/25 Planning + Minor Exception Corrections

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SITE PLAN	Shawn Hubler & Robert Magnuson 319 W. 6TH STREET CLAREMONT, CA 91711

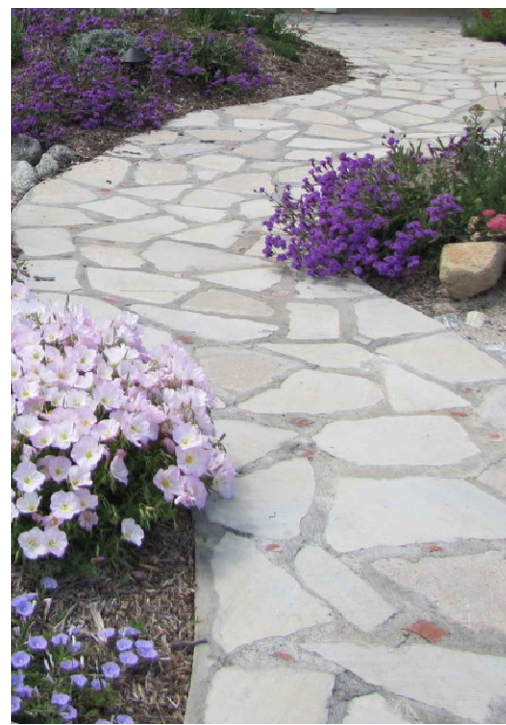


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BROKEN CONCRETE WALKWAY



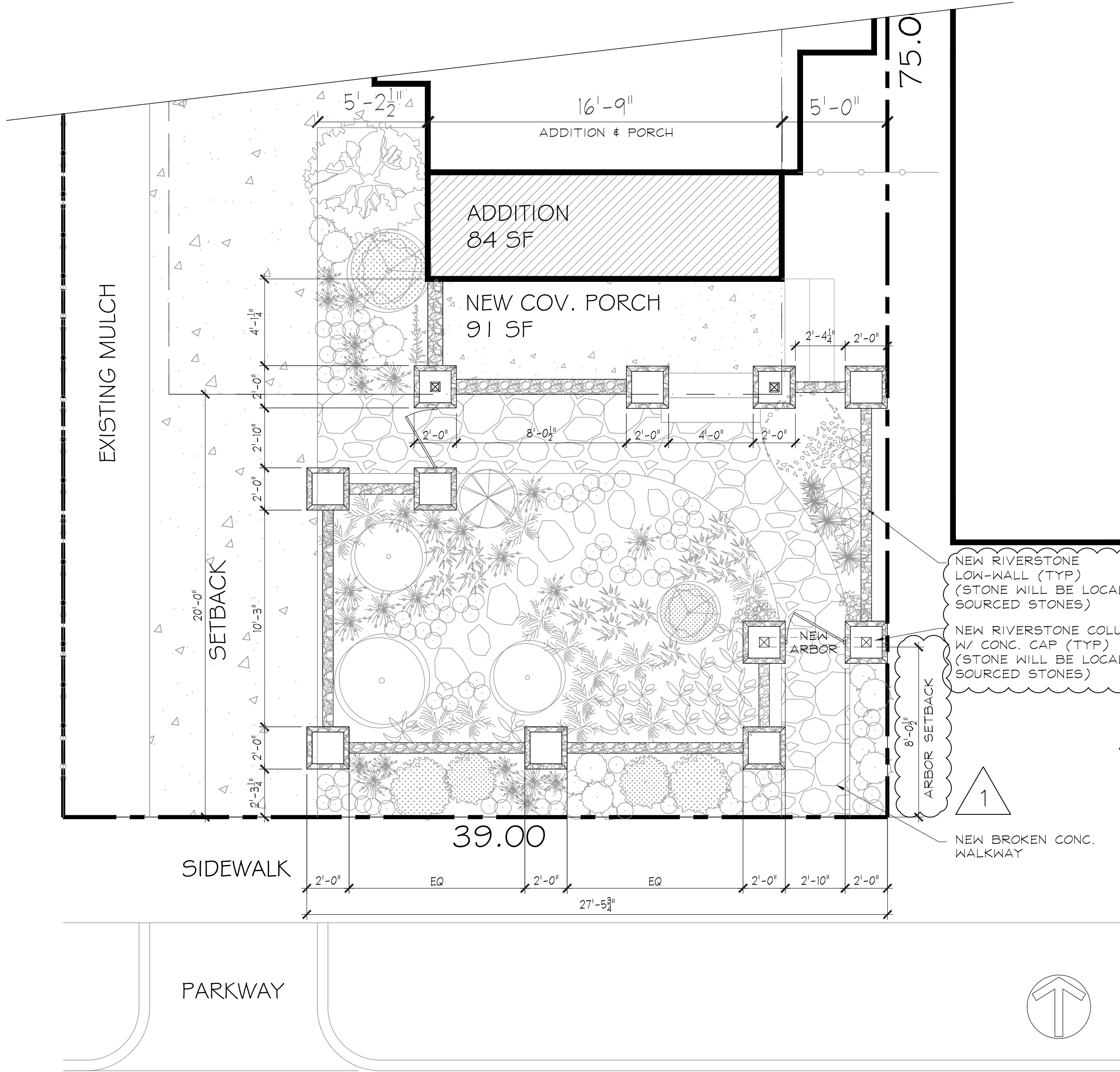
STEPPING STONE PATH

FRONT YARD SF: 780 SF

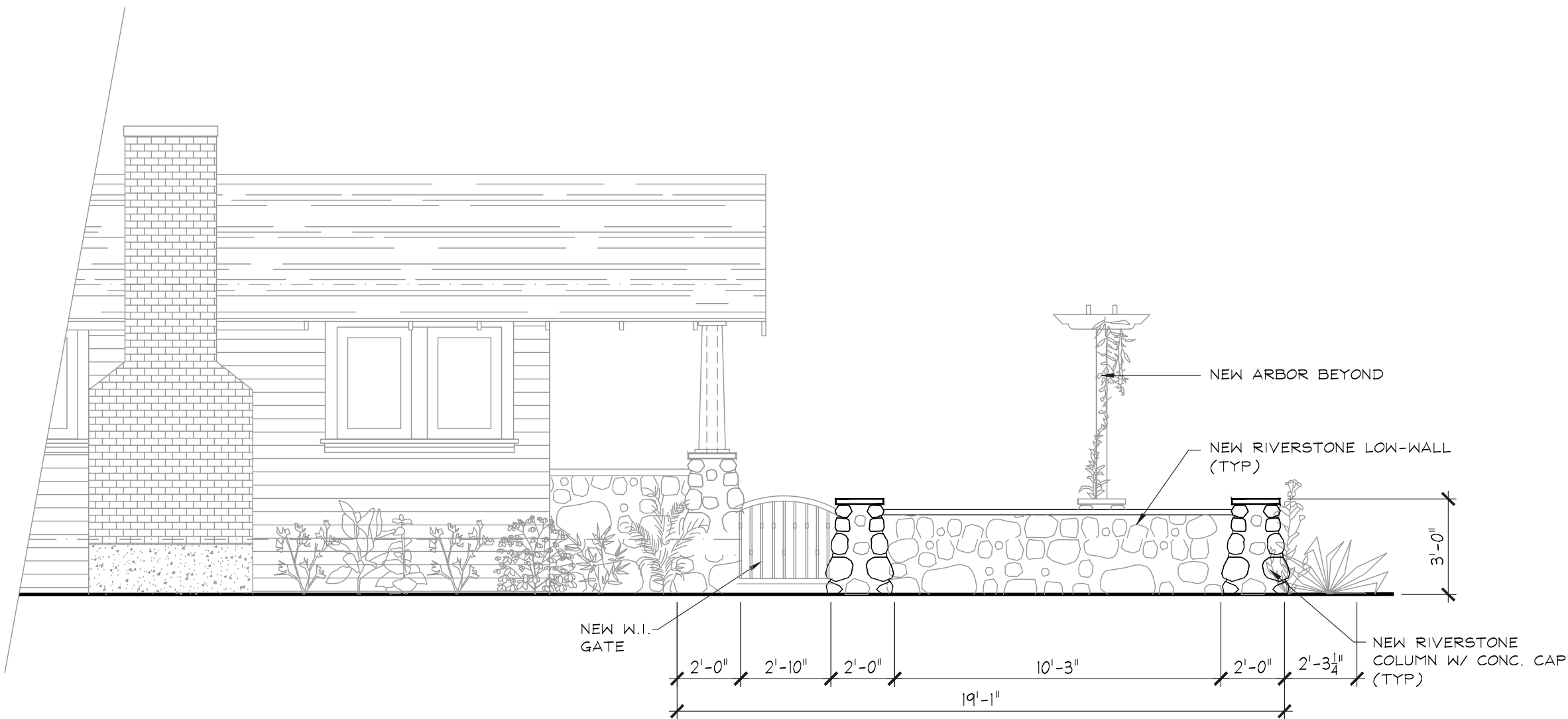
FRONT YARD LANDSCAPE SF: 421.7 SF

$421.7/780 = 54\%$

FRONT YARD AREA WILL CONTINUE TO MAINTAIN A MINIMUM OF 50% LANDSCAPING (per Claremont Municipal Code Section 16.130.030)



SOUTH ELEVATION



WEST ELEVATION

LANDSCAPE PLAN/PLANT SELECTION LIST

SCALE: 1/2"=1'-0"

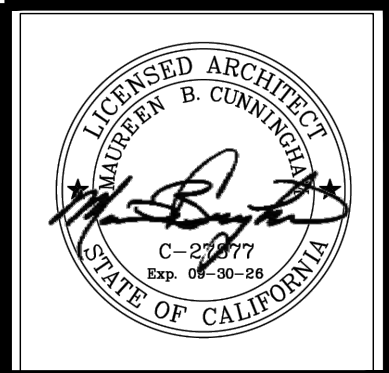


NO.	SYMBOL	COMMON NAME	BOTANICAL NAME	COMMENTS
1		MEYER LEMON TREE / VARIOUS FRUIT TREES	CITRUS x MEYERI / VARIOUS	VARIOUS FRUIT TREE SPECIES TBD
2		SALVIA	SALVIA OFFICINALIS	
3		CALIFORNIA POPPIES	ESCHSCHOLZIA CALIFORNICA	
4		ROSEMARY	SALVIA ROSMARINUS	
5		LAVENDER	LAVANDULA	
6		ICEBERG ROSE	ROSA 'KORBIN'	
7		CHRYSLER IMPERIAL	ROSA 'CHRYSLER IMPERIAL'	
8		ITOH PEONY	PAEONIA x INTERSECTIONAL	
9		PETER PAN	AGAPANTHUS AFRICANUS	
10		CONCHA CALIFORNIA MOUNTAIN LILAC	CEANOTHUS 'CONCHA'	
11		BEE BALM	MONARDA DIDYMA	
12		NARROW LEAF MILKWEED	ASCLEPIAS FASCICULARIS	
13		DWARF BUTTERFLY BUSH	BUDDLEJA DAVIDII	
14		HONEYSUCKLE	LONICERA HENRYI	CLIMBING PLANT FOR ENTRY ARBOR
15		TRUMPET VINE/STAR JASMINE/ WISTERIA	CAMPIDIS RADICANS/TRACHELOSPERMUM JASMINOIDES/ WISTERIA	CLIMBING PLANT OPTIONS FOR COVERED PORCH

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LANDSCAPE PLAN

Project Title:
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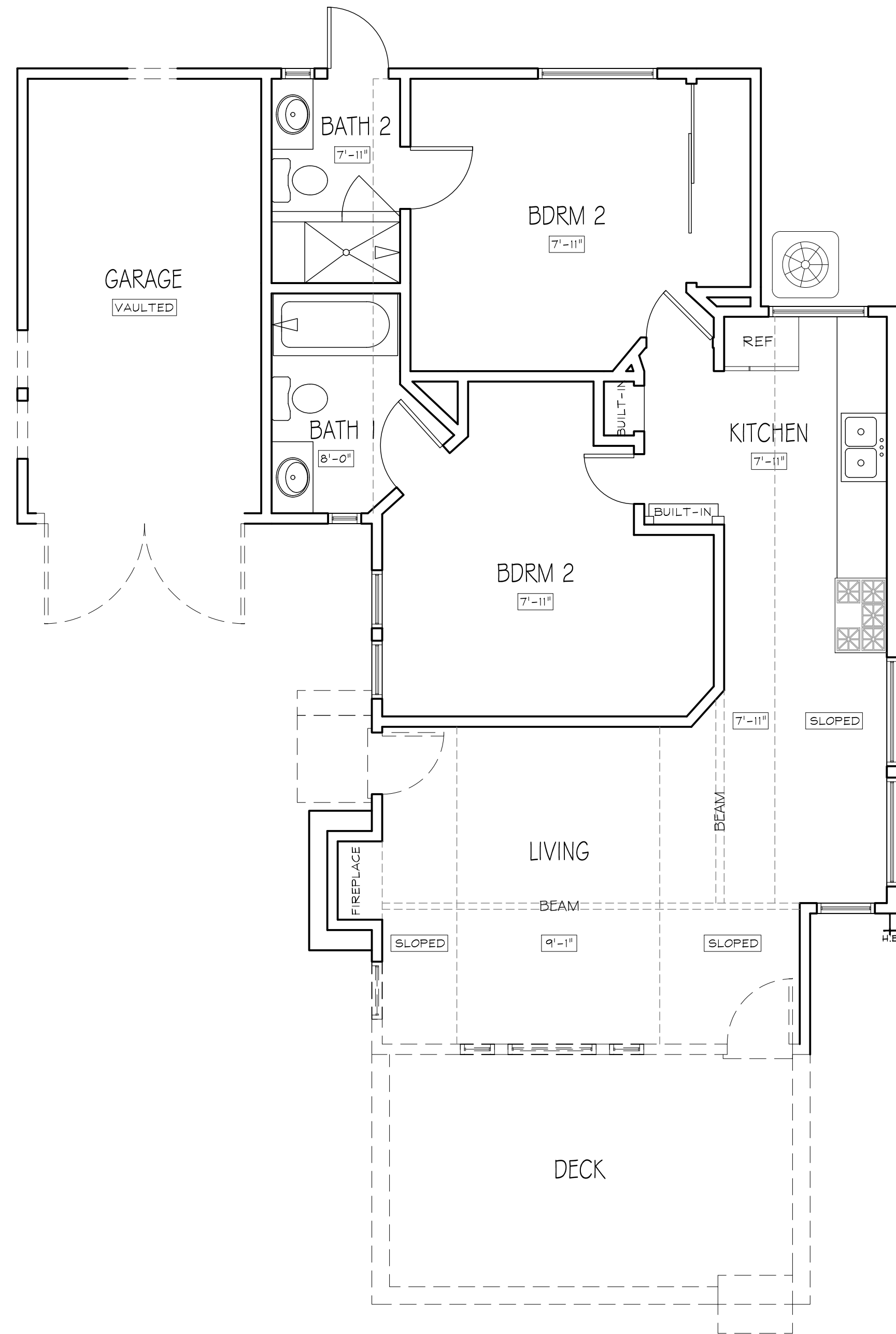


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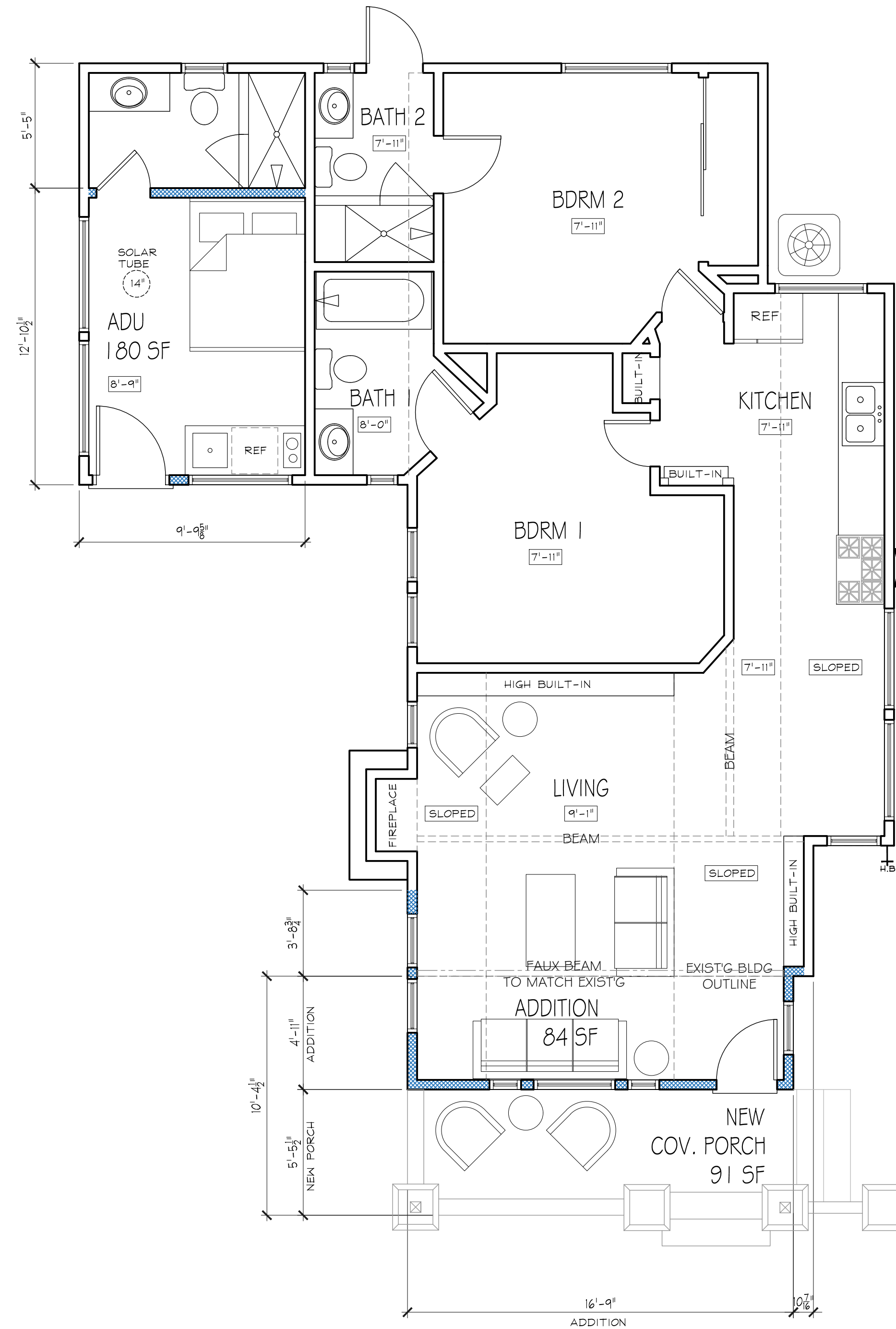
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EXISTING/DEMO FLOOR PLAN

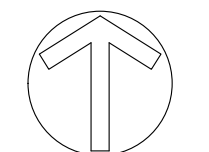


PROPOSED FLOOR PLAN

WALL LEGEND

- (N) NEW WALL
- (E) WALL TO REMAIN
- (D) WALL TO BE DEMO

NOTE:
ALL WALLS ARE DRAWN AS 5" WIDE TO INCLUDE
2X4 WALL, EXTERIOR & INTERIOR FINISHES.
CONTRACTOR SHALL VERIFY WALLS TO ALIGN
AS SHOWN



SCALE:
1/4"=1'-0"

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EXISTING/DEMO PLAN

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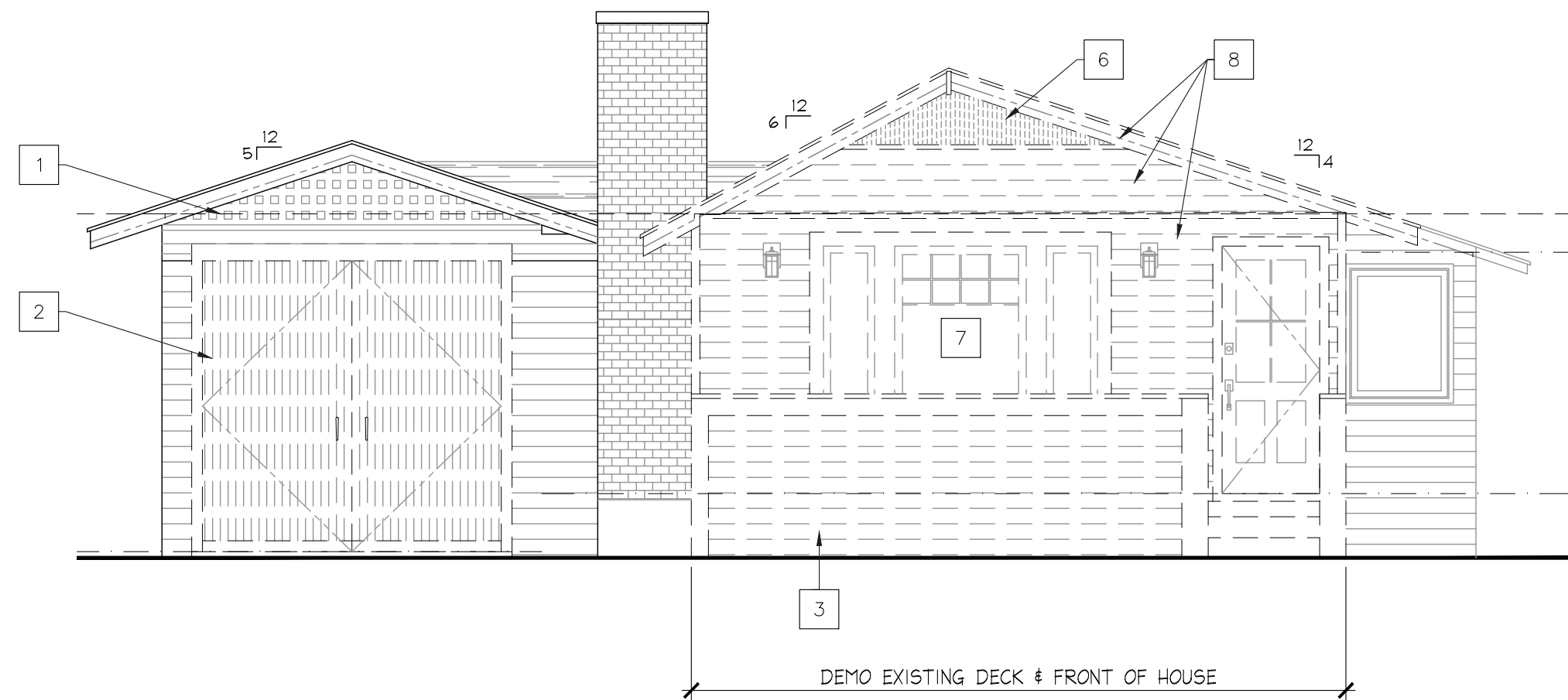
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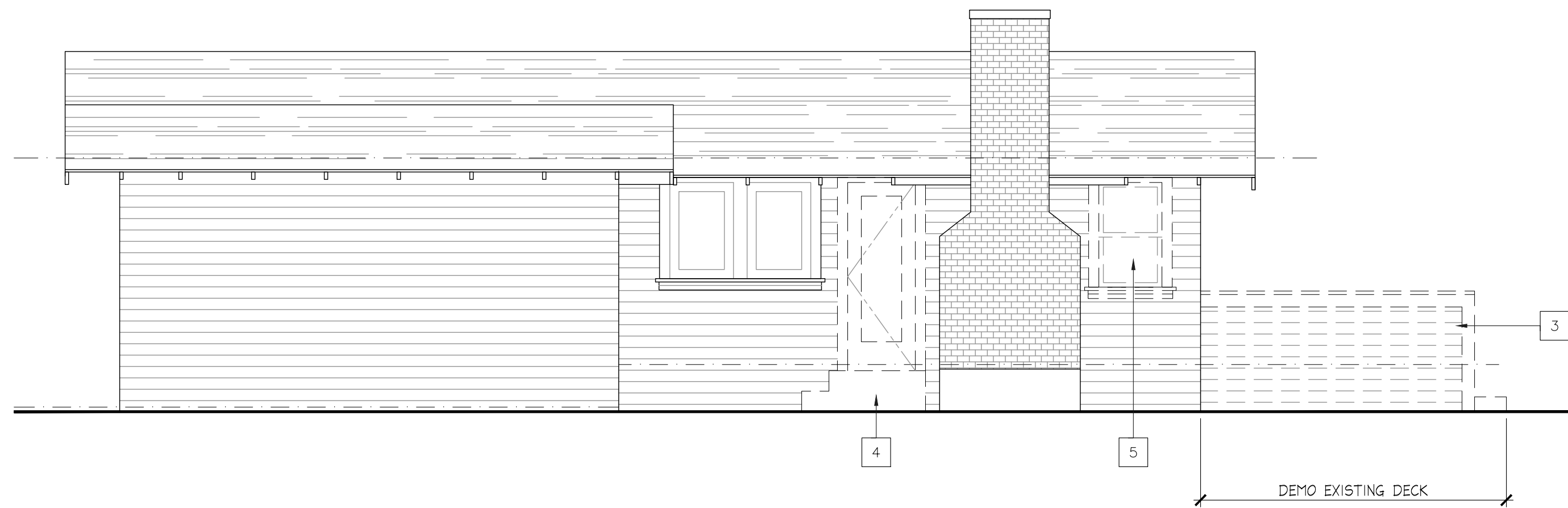
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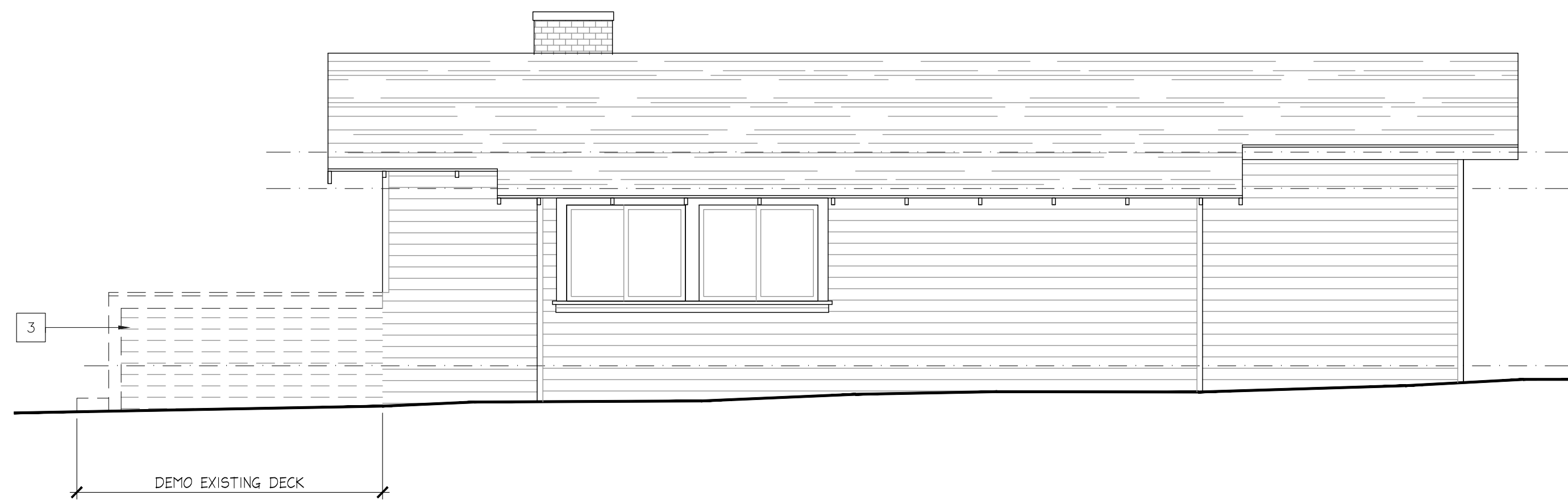
EXISTING SOUTH ELEVATION



EXISTING NORTH ELEVATION



EXISTING WEST ELEVATION



EXISTING EAST ELEVATION

EXISTING ELEVATIONS

EXTERIOR ELEVATION KEYNOTES

- 1 REMOVE & REPLACE EXISTING GABLE VENT TO MATCH MAIN HOUSE GABLE VENT
- 2 REMOVE EXISTING GARAGE DOOR
- 3 REMOVE EXISTING DECK
- 4 REMOVE EXISTING DOOR & STEPS
- 5 REMOVE & REUSE EXISTING WINDOW ELSEWHERE
- 6 REMOVE & REUSE EXISTING GABLE VENT
- 7 REMOVE & REUSE FRONT DOOR, WINDOW, & LIGHT FIXTURES
- 8 REMOVE WOOD SIDING & FASCIA

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EXTERIOR ELEVATIONS

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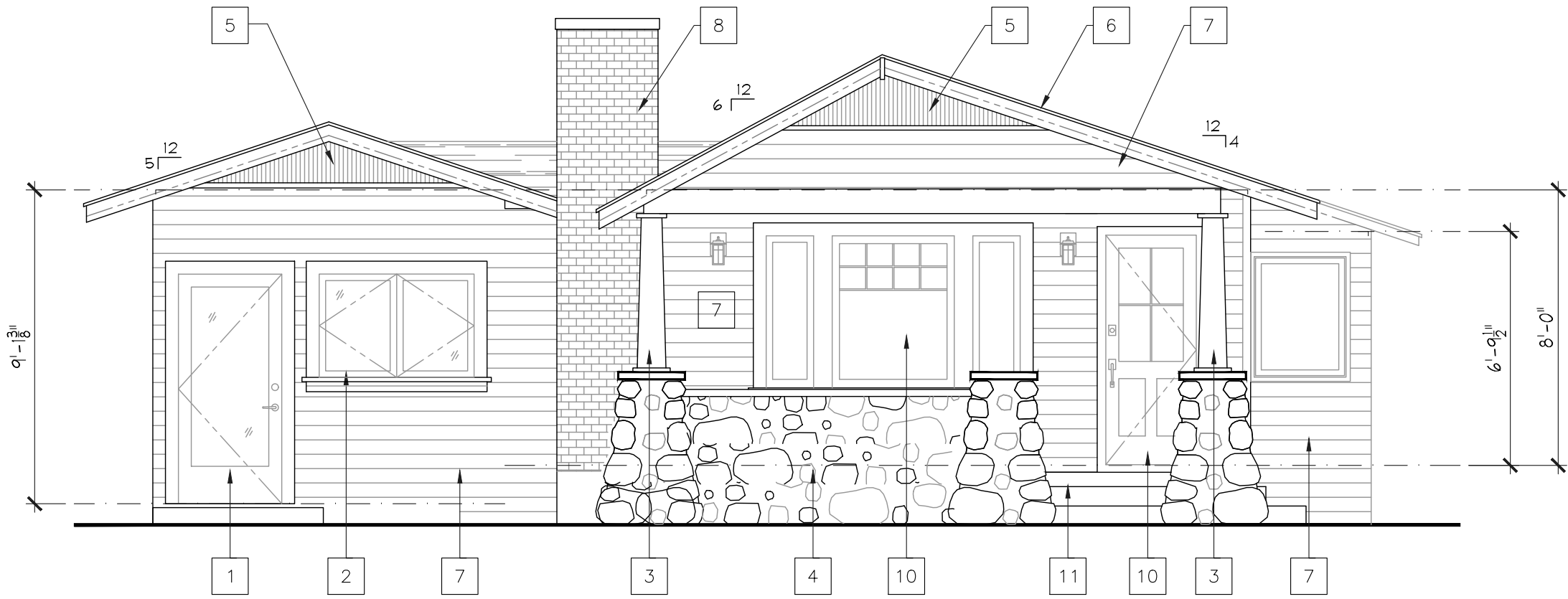
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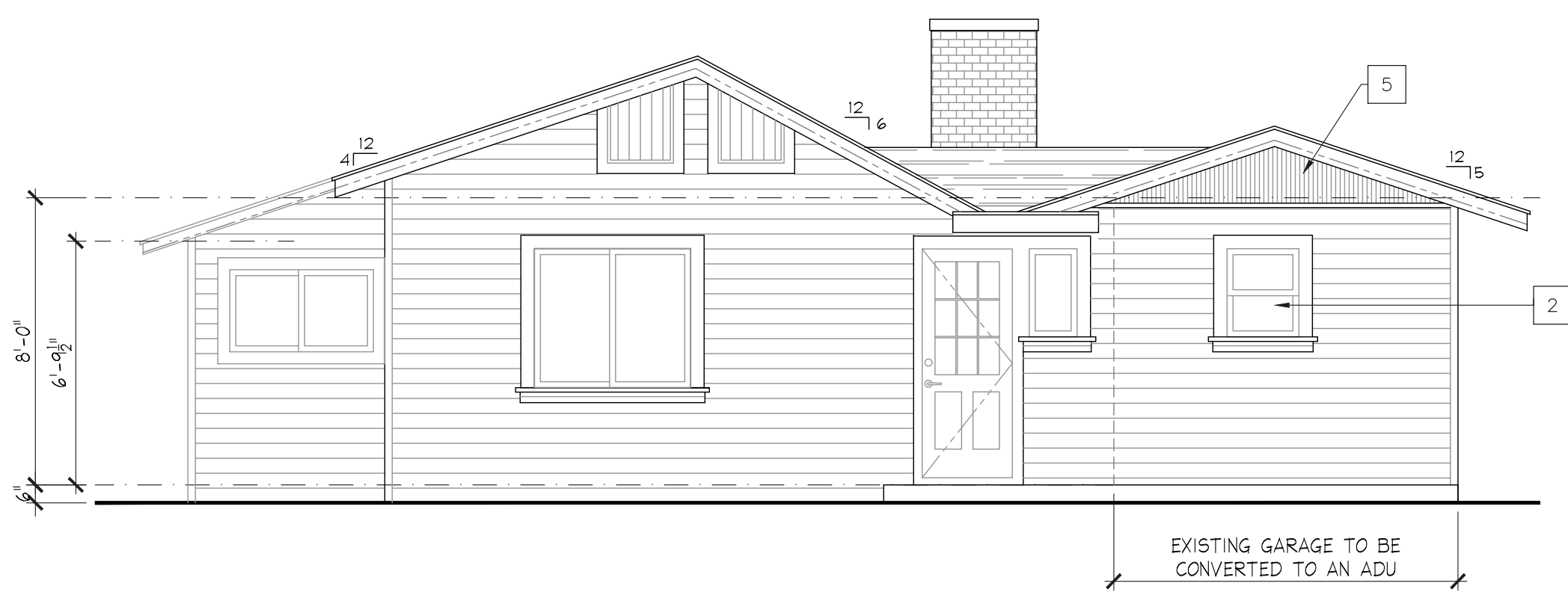
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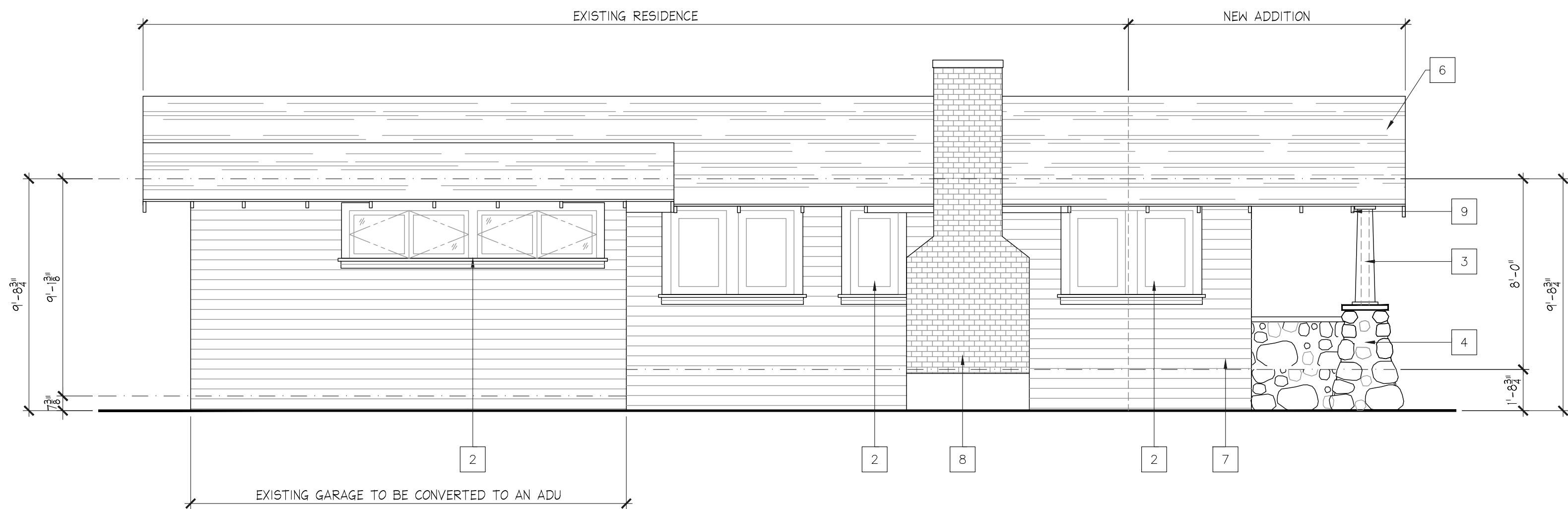
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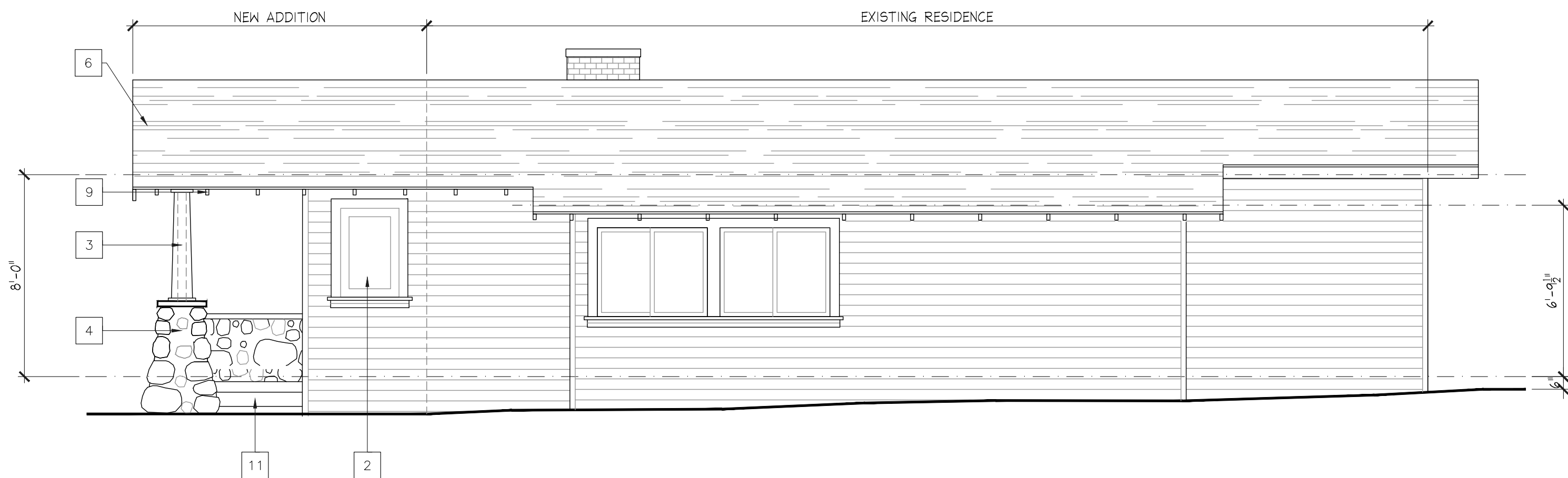
PROPOSED SOUTH ELEVATION



PROPOSED NORTH ELEVATION



PROPOSED WEST ELEVATION



PROPOSED EAST ELEVATION

PROPOSED ELEVATIONS

EXTERIOR ELEVATION KEYNOTES

- 1 NEW DOOR TO MATCH EXISTING
- 2 NEW WINDOW TO MATCH EXISTING
- 3 NEW TAPERED COLUMN, REFER TO COLOR BOARD FOR SPEC
- 4 NEW RIVER STONE TO BE LOCALLY SOURCED
- 5 NEW FUNCTIONAL GABLE END VENT TO MATCH EXISTING
- 6 NEW ROOFING TO MATCH EXISTING
- 7 NEW WOOD SIDING TO MATCH EXISTING
- 8 EXISTING MASONRY FIREPLACE TO REMAIN
- 9 NEW EXPOSED ROOF RAFTERS TO MATCH EXISTING
- 10 RELOCATED EXISTING DOOR & WINDOW
- 11 CONCRETE FLOOR & STEPS AT PORCH

SCALE:
1/4"=1'-0"

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EXTERIOR ELEVATIONS

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PROPOSED SOUTH ELEVATION



PROPOSED EAST ELEVATION



PROPOSED WEST ELEVATION



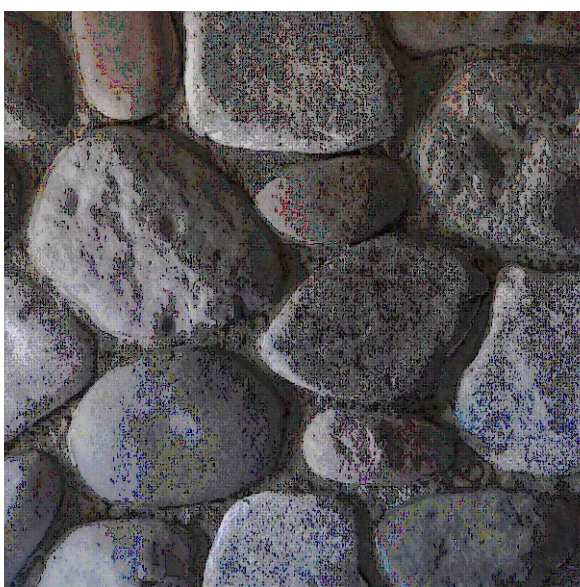
1 DET605-
DRIFTING DOWNSTREAM



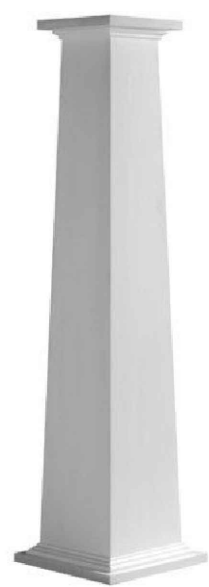
2 DEC777-
MEADOWWOOD



3 DET458
SANTA FE SUNSET



4 NEW RIVER ROCK
LOCALLY SOURCE
STONES



5 NEW SQUARE TAPERED
SMOOTH COLUMN



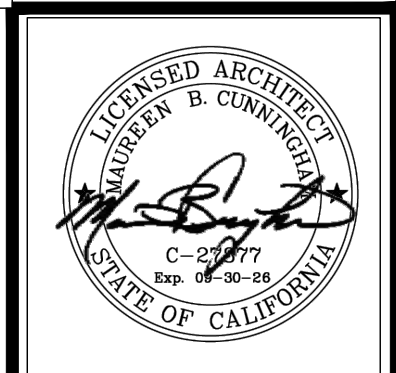
6 TIMBERLINE HDZ® RS
SHINGLES
SAGEWOOD



7 MARVIN ULTIMATE
WOOD WINDOWS

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MATERIAL & CLR BOARD	Shawn Hubler & Robert Magnuson 319 W. 6TH STREET CLAREMONT, CA 91711

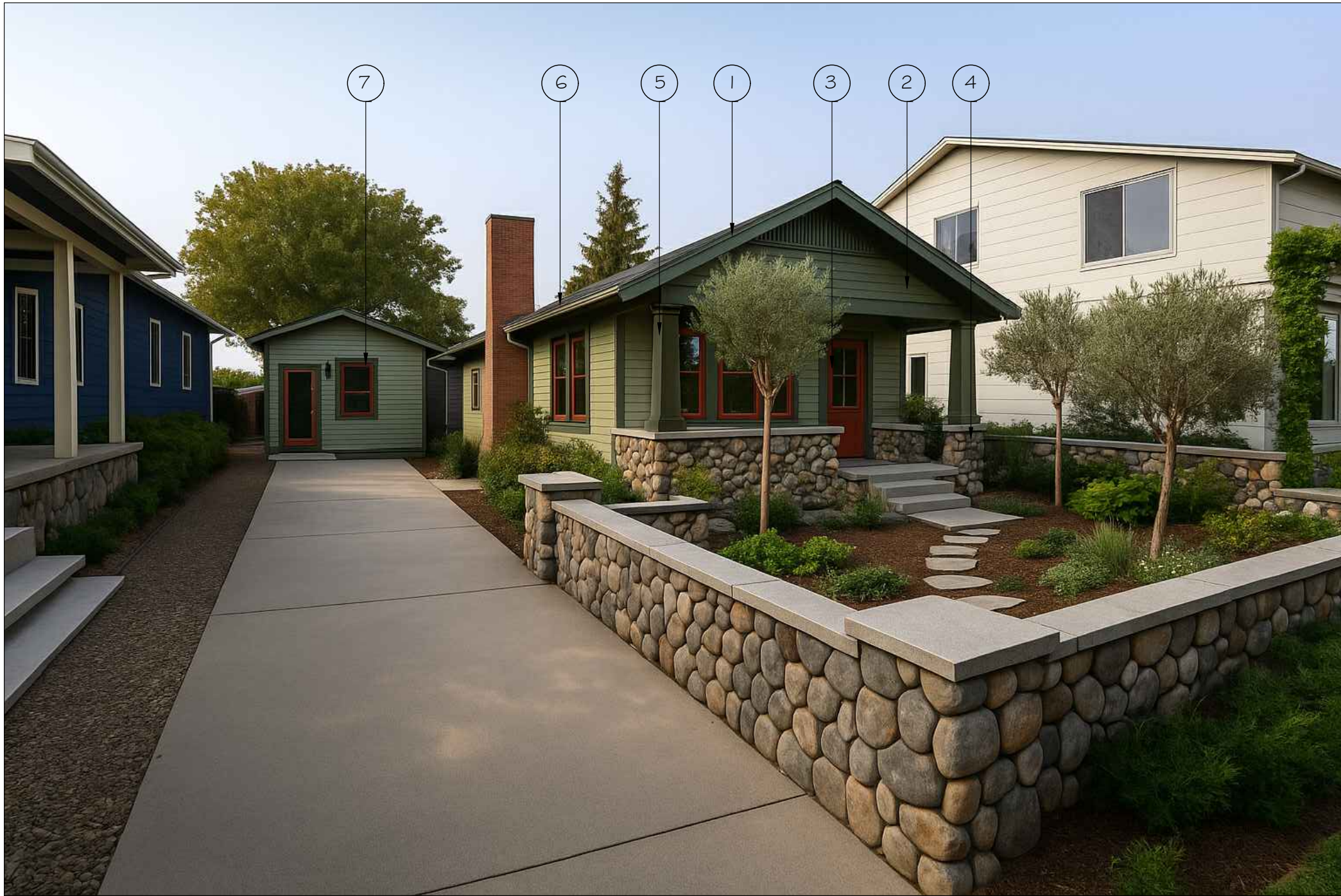


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SOUTHWEST VIEW



SOUTHEAST VIEW



SOUTH VIEW



1 DET605-DRIFTING DOWNSTREAM



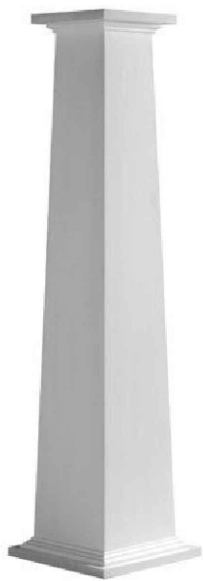
2 DEC777-MEADOWWOOD



3 DET458-SANTA FE SUNSET



4 NEW RIVER ROCK LOCALLY SOURCE STONES



5 NEW SQUARE TAPERED SMOOTH COLUMN



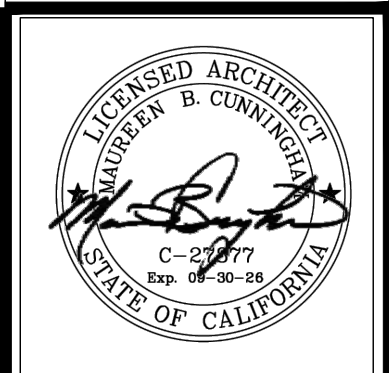
6 TIMBERLINE HDZ® RS SHINGLES SAGEWOOD



7 MARVIN ULTIMATE WOOD WINDOWS

Revisions:	Date:	Remarks:	By:
1	10/7/25	9/29/25 Planning + Minor Exception Corrections	MLR LL

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