212 N YALE ARCH & SITE PLAN REVIEW

212 N YALE AVE, CLAREMONT, CA 91711

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REVISIONS Description

TUR REV

212 N Yale Ave, Claremont, CA

(760) 673-6837

PLAN CHECK / JOB NO. B00-036-177

PLAN:

TITTLE SHEET

Project Number	Project Number	×
Date	Issue Date	<
Drawn By	J.F.	1.11.
Checked By	Checker	1 700
T-	-1	7/00/000 11:11:37
Scale	1/4'' = 1'-0''	

ARCHITECTURAL ABBREVIATIONS

ENCL

FF

FJ

FΟ

FLR

FND

FTG

FHWS

@ L Ø	AT CENTERLINE DIAMETER
AB A/C AC ADJ AFF ALUM	ANCHOR BOLT AIR CONDITIONING ASPHALT CONCRETE ADJACENT ABOVE FINISH FLOOR ALUMINUM
BD BLDG BLK BLKG BM BO BOBM	BOARD BUILDING BLOCK BLOCKING BEAM BOTTOM OF BOTTOM OF BEAM
CAB CB CJ CLG CLR CMU CO COL COMP CONC CONST CONT CSK CSMT CT CTR CW	CABINET CATCH BASIN CONTROL JOINT CEILING CLEAR CONCRETE MASONRY UNIT CLEANOUT COLUMN COMPOSITE SHINGLES CONCRETE CONSTRUCTION CONTINUOUS COUNTER SINK CASEMENT CERAMIC TILE CENTER COLD WATER
DS DBL DIA DIAG DIM DN DR	DOWNSPOUT DOUBLE DIAMETER DIAGONAL DIMENSION DOWN DOOR

DISHWASHER

Harrison Ave

Stanford Dr

W Bonita Ave

W Grinnell Dr

The Back Abbe

Eureka! Claremont

W Bonita Ave

VICINITY MAP

EACH **EXPANSION JOINT** ELECTRICAL **ENCLOSURE EACH WAY** MED **EXISTING** EXTERIOR MISC FORCED AIR UNIT FINISH FLOOR FIXED GLASS

FLATH FLOOR JOIST FACE OF FLOOR FLUORESCENT FOUNDATION OBS FOOTING FLATHEAD WOOD SCREW **FURRED**

FURR GAUGE GD GARBAGE DISPOSAL GLB GLU LAM BEAM GS GALVANIZED STEEL GYP GYPSUM PLYWD **GYPSUM BOARD** HOSE BIBB HDR HEADER HGT HFIGHT HEATER HEATING/VENTILATING/ AIR CONDITIONING INTERIOR

JOIST

W 4th St

Bean & Tea Leaf

W 1st St

Santa Fe St

LAMINATE

LAVATORY

PREFAB RDWD REFR REINF REQD SHLV

Benton Mu

W 1st St E

MATERIAL MAXIMUM MACHINE BOLT MEDICINE CABINET MECHANICAL MEDIUM **MANUFACTURER** MINIMUM MISCELLANEOUS METAL NORTH NATURAL NOT IN CONTRACT

NUMBER

OBSCURE

ON CENTER

OVERHEAD

PERFORATE

PLYWOOD

PROPERTY LINE

RADIUS/RISER

REFRIGERATOR

REINFORCEMENT

ROUGH OPENING

ROUGH SAWN

SQUARE FEET

STAINLESS STEEL

REDWOOD

SHELVING

ROOF DRAIN

REDWOOD

REQUIRED

OPENING

OVER

NOT TO SALE

STOR STRUCT TO **OUTSIDE DIAMETER OVERFLOW SCUPPER** POLYVINYL CHLORIDE UNO **PREFABRICATED**

SEL SH

SHTG

SIM SKL

SLDG

SQ

STL

SHWR

UNLESS NOTED OTHERWISE **VERIFY IN FIELD**

WP

ARCHITECTURAL SYMBOLS

WWM

WITHOUT WATER CLOSET WOOD WATER HEATER WROUGHT IRON WINDOW WATERPROOF WATER RESISTANT WELDED WIRE FABRIC WELDED WIRE MESH

SHELF AND POLE

SLIDER (WINDOW)

STRUCTURAL

SINGLE HUNG

SHEET

SHEATING

SHOWER

SIMILAR

SKYLIGHT

SLIDING

STEEL

SQUARE

STORAGE

TOP OF

TOP & BOTTOM

TOP OF BEAM

TOP OF MASONRY

TOP OF PARAFET

TOP OF SHEETING

TEMPERED GLASS

TOP OF PLATE

TELEVISION

TYPICAL

TONGUE & GROOVE

TRASH COMPACTOR

GENERAL NOTES

ALL WORK SHALL CONFORM TO: (A) THE MINIMUM STANDARDS OF THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE AND ALL RELATED DOCUMENTS PUBLISHED BY THE I.C.C. WHICH HAVE BEEN ADOPTED BY THE LOCAL GOVERNING AGENCY; (B) ALL REGULATIONS AND ORDINANCES OF ALL LOCAL GOVERNING AGENCIES; (C) ANY SPECIAL CONDITIONS REQUIRED BY THE LOCAL GOVERNING AGENCIES: AND (D) ALL CALIFORNIA STATE CODE AMENDMENTS (BUILDING STANDARDS CODE) TITLE 24.

THE APPLICABLE CODES WILL INCLUDE, BUT SHALL NOT BE LIMITED TO:

- 2022 CALIFORNIA BUILDING CODE (CBC) - 2022 CALIFORNIA ELECTRICAL CODE (CEC) - 2022 CALIFORNIA MECHANICAL CODE (CMC) 2022 CALIFORNIA PLUMBING CODE (CPC)

- 2022 CALIFORNIA ENERGY CODE (CENC) - 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN) - CLAREMONT MUNICIPAL CODE

ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED BY THE CONTRACTOR FOR DIMENSION, GRADE, EXTENT AND COMPATIBILITY TO THE EXISTING SITE. ANY DISCREP- ANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE DESIGNER'S ATTENTION IMMEDIATELY. DO NOT PROCEED WITH THE WORK IN THE AREA OF DISCREPANCIES UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED. IF THE CONTRACTOR CHOOSES TO DO SO, HE SHALL BE PROCEEDING AT HIS OWN

OMISSIONS FROM THE DRAWINGS AND SPECIFICATION OR THE MISDESCRIPTION OF THE WORK WHICH IS MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH IS CUSTOMARILY PERFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR MISDESCRIBED DETAILS OF THE WORK AS IF FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.

DIMENSIONS SHOWN SHALL TAKE PRECEDENCE OVER DRAWINGS SCALE OR PROPORTION. LARGER SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.

APPROVED NUMBERS OR ADDRESSES (PER CITY OF CLAREMONT) SHALL BE PROVIDED IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. CONTRACTOR SHALL COORDINATE THE LOCATION WITH THE ARCHITECT.

THE CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR THE SELECTION OF ALL PLUMBING FIXTURES INCLUDING TOILETS, TUB/SHOWER, LAVATORIES, SINKS AND ALL APPROPIATE FAUCETS, TRIM AND DRAINS. THE OWNER SHALL SELECT ALL COLORS, FINISH AND OPTIONS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF THE MECHANICAL HEATING AND DISTRIBUTION SYSTEM IN COMPLIANCE WITH APPLICABLE CODES AND REGULATIONS.

THE CONTRACTOR SHALL COORDINATE WITH OWNER FOR THE SELECTION OF ALL ELECTRICAL LIGHT FIXTURES (THEIR COLOR, TYPE AND FINISH), AND SWITCHPLATED AND OUTLETS (COLOR AND TYPE). THE CONTRACTOR SHALL VERIFY ALL LOCATIONS AND HEIGHTS OF ALL OUTLETS, LIGHTING FIXTURES, ETC. WITH THE ARCHITECT.

THE CONTRACTOR SHALL COORDINATE WITH OWNER FOR THE SELECTION OF ALL KITCHEN APPLIANCES (COLOR, TYPE AND OPTIONS).

THE CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR THE SELECTION AND PROPER LOCATIONS OF ALL BATHROOM SPECIALTIES INCLUDING. BUT NOT LIMITED TO. MEDICINE CABINETS. MIRRORS. TOWEL BARS AND HOOKS, TOILET PAPER DISPENSER, SOAP DISH AND SHOWER

THE CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR THE DESIGN OF BUILT-IN CABINETS INCLUDING DOOR AND DRAWER LOCATIONS, TYPES OF HINGES, PULLS AND SLIDING HARDWARE. THE OWNER SHALL SELECT THE TYPE OF MATERIALS, COLOR AND FINISH FOR CABINETS.

THE CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR THE SELECTION OF ALL INTERIOR FINISHES INCLUDING FLOOR COVERINGS AND UNDERLAYMENTS, PAINT (INCLUDING NUMBER OF COATS), OTHER WALLCOVERINGS, BASE AND CASE, LAMINATES, TILE, ETC.

THE CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR THE SELECTION OF ALL DOOR HARDWARE, INCLUDING, BUT NOT LIMITED TO, DOOR LATCHES, HINGES, CABINET HARD-WARE, ETC. (TYPES AND

ALL WORK, CONSTRUCTION AND MATERIALS SHALL COMPLY WITH ALL PROVISION OF THE APPLICABLE BUILDING CODES AS WELL AS ANY OTHER RULES, REGULATIONS, AND ORDINANCES GOVERNING THE PLACE OF CONSTRUCTION. IT IS THE SOLE RESPONSIBILITY OF ANYONE SUPPLYING LABOR, MATERIALS. OR BOTH TO BRING TO THE ATTENTION OF THE DESIGNER, ENGINEER, GENERAL CONTRACTOR AND THE OWNER ANY DISCREPANCIES OR CONFLICT BETWEEN THE REQUIREMENTS OF THE CODE AND THE DRAWINGS.

CONSTRUCTION HOURS ARE FROM 7:00 A.M. UNTIL 8:00 P.M., MONDAY THROUGH SATURDAY. NO WORK IS TO OCCUR ON SUNDAY OR HOLIDAYS.

CASP REPORT IS REQUIRED FOR FINAL INSPECTION.

ADDITIONAL GENERAL NOTES

THE CONSTRUCTION SHALL NOT RESTRICT A FIVEFOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES

AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170,158) (SEPARATE PLUMBING PERMIT IS REQUIRED).

PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R306.3).

KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4).

BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD. AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).

PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.

UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING. (RESEARCH REPORT NOT REQUIRED). (R308.6.9)

WATER HEATER MUST BE STRAPPED TO WALL. (SEC. 507.3, LAPC)

FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECS. MAX.) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR. (6109 OF

FOR EXISTING POOL ON SITE, PROVIDE ANTI- ENTRAPMENT COVER MEETING THE CURRENT ASTM OR ASME FOR THE SUCTION OUTLETS OF THE SWIMMING POOL, TODDLER POOL AND SPA FOR SINGLE FAMILY DWELLINGS PER ASSEMBLY BILL (AB) NO. 2977. (3162B)

AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. (R309.4)

SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS, OR ADDITIONS. (R314.2)

WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS, EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.2. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2.)

EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOTCANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1)

A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE

Bluebird Investment Group LLC

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Email: m.abdelsayed@369architects.com

ARCHITECT

369 Architects Inc. MARC ABDELSAYED

DIRECTORY

DESCRIPTION OF WORK:

TITTLE SHEET

SECTIONS

GENERAL NOTES

ACCESSIBILITY DETAILS

PROPOSED ROOF PLAN

EXTERIOR ELEVATIONS

MATERIAL BOARD

ARCHITECTURAL DETAILS

EXISTING & PROPOSED SITE PLAN

SHEET INDEX:

GN-1

A-5.0

A-6.0

PROJECT DATA

A.P.N.:

LOT:

BLK:

4,855 SQ. FT.

B (BUSSINES)

18' - 0"

EXISTING NEW

(sq. ft.) **FACTOR**

2,200

2,200

8313-019-005

DEMO

0.0

LOAD

22

(sq. ft.) (sq. ft.) (sq. ft.) (sq. ft.)

LOAD OCCUPANT

0.0

100

CREDIT

0.0

(sq. ft.)

2,200

2,200

LEGAL DESCRIPTION:

TYPE OF CONSTRUCTION:

OCCUPANCY GROUP:

NUMBER OF STORIES:

(E) FIRE SPRINKLER SYSTEM:

(N) FIRE SPRINKLER SYSTEM:

RESIDENTIAL FLOOR AREA (R.F.A.)

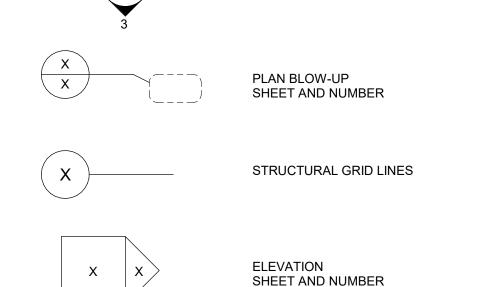
OCCUPANT LOAD:

BUILDING HEIGHT:

TOTAL RFA AREA

LOT AREA:

- ARCHITECTURAL AND SITE PLAN REVIEW SUBMITTAL ONLY. SCOPE INCLUDES UPDATED EXTERIOR ELEVATIONS, PROPOSED MATERIALS AND FINISHES, SITE PLAN LAYOUT, ACCESSIBLE PARKING, AND ROOF PLAN. NO INTERIOR TENANT IMPROVEMENT WORK IS INCLUDED IN THIS SUBMITTAL
- TENANT IMPROVEMENT SCOPE WILL BE SUBMITTED SEPARATELY UNDER PLAN CHECK B00-036-177.



BUILDING SECTION LETTER AND SHEET

DETAIL REFERENCE

NUMBER AND SHEET

INTERIOR ELEVATION

NUMBER AND SHEET

GENERAL REQUIREMENTS

The construction shall not restrict a five-foot clear and unobstructed access to any water or power distribution facilities (Power poles, pull-boxes, transformers, vaults, pumps, valves, meters, appurtenances, etc.) or to the location of the hook-up. The construction shall not be within ten feet of any power lines-whether or not the lines are located on the property. Failure to comply may cause construction delays and/or additional

An approved seismic gas shutoff valve will be installed on the fuel gas line on the downstream side of the utility meter and be rigidly connected to the exterior of the building or structure containing the fuel gas piping. (per ordinance 170,158) (separate plumbing permit is required).

Plumbing fixtures are required to be connected to a sanitary sewer or to an approved sewage disposal system (R306.3).

Kitchen sinks, lavatories, bathtubs, showers, bidets, laundry tubs and washing machine outlets shall be provided with hot and cold water and connected to an approved water supply (R306.4).

Bathtub and shower floors, walls above bathtubs with a showerhead, and shower compartments shall be finished with a nonabsorbent surface. Such wall surfaces shall extend to a height of not less than 6 feet above the floor (R307.2).

Provide ultra-low flush water closets for all new construction. Existing shower heads and toilets must be adapted for low water consumption

Unit Skylights shall be labeled by a LA City Approved Labeling Agency. Such label shall state the approved labeling agency name, product designation and performance grade rating. (Research Report not required). (R308 .6.9)

Water heater must be strapped to wall. (Sec. 507.3, LAPC)

For existing pool on site, provide an alarm for doors to the dwelling that form a part of the pool enclosure. The alarm shall sound continuously for a min. of 30 seconds when the door is opened. It shall automatically reset and be equipped with a manual means to deactivate (for 15 sees. max.) for a single opening . The deactivation switch shall be at least 54" above the floor. (61 09 of LABC)

For existing pool on site, provide antientrapment cover meeting the current ASTM or ASME for the suction outlets of the swimming pool, toddler pool and spa for single family dwellings per Assembly Bill (AB) No. 2977. (3162B)

Automatic garage door openers, if provided, shall be listed in accordance with UL 325.

Smoke detectors shall be provided for all dwelling units intended for human occupancy, upon the owner's application for a permit for alterations, repairs, or additions, exceeding one thousand dollars (\$1,000). (R314.6.2)

Where a permit is required for alterations, repairs or additions exceeding one thousand dollars (\$1,000), existing dwellings or sleeping units that have attached garages or fuel-burning appliances shall be provided with a carbon monoxide alarm in accordance with Section R315.2. Carbon monoxide alarms shall only be required in the specific dwelling unit or sleeping unit for which the permit was obtained. (R315.2.2)

Every space intended for human occupancy shall be provided with natural light by means of exterior glazed openings in accordance with Section R303.1 or shall be provided with artificial light that is adequate to provide an average illumination of 6 foot-candles over the area of the room at a height of 30 inches above the floor level. (R303.1)

A copy of the evaluation report and/or conditions of listing shall be made available at the job site

Heater shall be capable of maintaining a minimum room temperature of 68°F at a point 3 feet above the floor and 2 feet from exterior walls in all habitable rooms at the design temperature. (R303.9)

FIRE-RESISTANCE RATED CONSTRUCTION

Through penetrations of fire-resistance-rated wall or floor assemblies shall comply with Section R302.4.1.1 or R302.4.1.2. (SEE DETAIL AT GN1.0)

Section R302.4.1. Where walls are required to have a fire-resistance rating, recessed fixtures shall be installed so that the required fireresistance rating will not be reduced. (R302.4.2)

Membrane penetrations shall comply with

FIRE PROTECTION

The building shall be equipped with an automatic residential fire sprinkler system in accordance with section R313.3 or NFPA13D. (R313. 12.21A17(d))

The Sprinkler System shall be approved by Plumbing Division prior to installation

An approved smoke alarm shall be installed in each sleeping room & hallway or area giving access to a sleeping room, and on each story and basement for dwellings with more than one story. Smoke alarms shall be interconnected so that actuation of one alarm will activate all the alarms within the individual dwelling unit. In new construction smoke alarms shall receive their primary power source from the building wiring and shall be equipped with battery back-up and low battery signal. (R314)

An approved carbon monoxide alarm shall be installed in dwelling units and in sleeping units within which fuel-burning appliances are installed and in dwelling units that have attached garages. Carbon monoxide alarm shall be provided outside of each separate dwelling unit sleeping area in the immediate vicinity of the bedroom(s) and on every level of a dwelling unit including basements. (R315)

MEAN OF EGRESS

Provide emergency egress from sleeping rooms. Show details on plans. Minimum - 24" clear height,20" clear width, 5.7 sf minimum area (5.0 sf atgrade level) & 44" maximum to sill. (R310.1)

Provide 32" wide doors to all interior accessible rooms. (6304.1)

Show on plans the entry/exit door must open over a landing not more than 1.5" below the threshold. Exception: Proving the door does not swing over the landing. Landing shall be not more than 7.75" below the threshold. Storm and screen doors are permitted to swing over all exterior stairs and landings. (R311.3.1)

BUILDING ENVELOPE

Provide a class A, B or C fire-retardant roof covering per Section R902.1

Glazing in the following locations shall be safety glazing conforming to the human impact loads of Section R308.3 (see exceptions) (R308.4):

a.- Fixed and operable panels of swinging. sliding and bifold door assemblies.

b.- Glazing in an individual fixed or operable panel adjacent to a door where the nearest vertical edge is within a 24-inch arc of the door in a dosed position and whose bottom edge is less than 60 inches above the floor or walking

c.- Glazing in an individual fixed or operable panel that meets all of the following conditions:

> 1) Exposed area of an individual pane greater than 9 square feet. 2) Bottom edge less than 18 inches above

3) Top edge greater than 36 inches above the floor. 4) One or more walking surfaces within 36 inches horizontally of the glazing.

d.- Glazing in railings.

e.- Glazing in endosures for or walls facing hot tubs. whirlpools. saunas, steam rooms. bathtubs and showers where the bottom edge of the glazing is less than 60 inches measured vertically above any standing or walking

f. Glazing in walls and fences adjacent to indoor and outdoor swimming pools, hot tubs and spas where the bottom edge of the glazing is less than 60 inches above a walking surface and within 60 inches, measured horizontally and in a straight line, of the water's edge.

g. Glazing where the bottom exposed edge of the glazing is less than 36 inches above the plane of the adjacent walking surface of stairways, landings between flights of stairs and ramps.

h. Glazing adjacent to the landing at the bottom of a stairway where the glazing is less than 36 inches above the landing and within 60 inches horizontally of the bottom tread.

Dampproofing, where required, shall be installed with materials and as required in Section R406.1

Vehicular access doors shall comply with Section

Skylight and sloped glazing shall comply with section R308.6

Lots shall ,be graded to drain surface water away from foundation walls with a minimum fall of 6 inches within the first 10 feet (r401 .3).

Buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property.(R319.1)

Protection of wood and wood based products from decay shall be provided in the locations specified per Section R317.1 by the use of naturally durable wood or wood that is preservative-treated in accordance with AWPA U1 for the species, product, preservative and end use. Preservatives shall be listed in Section 4 of AWPA U1.

Provide anti-Graffiti finish within the first 9 feet, measured from grade, at exterior walls and doors. Exception: maintenance of building affidavit is recorded by the owner to covenant and agree with the City Of Los Angeles to remove any graffiti within 7-days of the graffiti being applied. (6306)

BUILDING & SAFETY GENERAL NOTES

1. All entry doors to dwelling units or quest rooms shall be arranged so that the occupant has a view of the area immediately outside the door without opening the door. Such view may be provided by a door viewer, through windows located in the vicinity of the door or through view

ports in the door or adjoining wall. (6706)

2. Screens, barricades, or fences made of a material which would preclude human climbing shall be provided at every portion of every roof, balcony, or similar surface which is within 8 ft. of the utility pole or similar structures. (6707)

3. Wood flush-type doors shall be 1 3/8" thick minimum with solid core construction. 91.6709.1 - Door stops of in swinging doors shall be of one-piece construction with the jamb or joined by rabbet to the jamb. (6709.4) 4. Every door in a security opening for an apartment house shall be provided with a light bulb (60 watt min.) At a maximum height of 8 feet on the exterior. (6708)

5. All pin-type door hinges accessible from outside shall have non-removable hinge pins. Hinges shall have min. 1/4" dia. steel jamb stud with 1/4" min. protection. The strike plate for latches and holding device for projecting dead bolts in wood construction shall be secured to the jamb and the wall framing with screws no less than 2-1/2" long. (91.6709.5, 6709.7)

6. Provide dead bolts with hardened inserts; deadlocking latch with key-operated locks on exterior. Doors must be operable from the inside without a key, special knowledge, or special effort (latch not required in B, F, and S occupancies). (6709.2)

7. Straight dead bolts shall have a min. throw of 1" and an embedment of not less than 5/8", and a hook-shaped or an expanding-lug deadbolt shall have a minimum throw of 3/4". (6709.2)

8. Wood panel type doors must have panels at least 9/16 in. thick with shaped portions not less than 1/4 in. thick and individual panels must be no more than 300 sq. in. in area. Mullions shall be considered a part of adjacent panels except mullions not over 18 inches long may have an overall width of not less than 2 inches. Stiles and rails shall be of solid lumber in thickness with overall dimensions of not less than 1 3/8 inches and 3 inches in width. (91.6709.1 item 2)

9. Sliding doors shall be provided with a device in the upper channel of the moving panel to prohibit raising and removing of the moving panel in the closed or partially open position.

10. Sliding glass doors panels shall be closed and locked when subjected to the tests specified in Sec. 6717.112.

11. Metal or wooden overhead or sliding doors shall be secured with a cylinder lock, padlock with a min. 9/32" diameter hardened steel shackle and bolted, hardened steel hasps, metal slide board, bolt or equivalent device unless

12. Provide metal guides at top and bottom of metal accordion grate or grille-type doors and cylinder locks or padlocks. Cylinder guards hall be installed on all cylinder locks whenever the cylinder projects beyond the face of the door or is otherwise accessible to gripping tools. (6712)

14. Glazed openings within 40" of the door lock when the door is in the closed position, shall be fully tempered glass or approved burglary resistant material, or shall be protected by metal bars, screens or grills having a maximum opening of 2". The provisions of this section shall not apply to view ports or windows which do not exceed 2" in their greatest dimensions. (6713)

15. Louvered windows shall be protected by metal bars or grills with openings that have at least one dimension of 6" or less, which are constructed to preclude human entry. (6715.3)

16. Other openable windows shall be provided with substantial locking devices. In B, F, M and S occupancies, such devices shall be glide bars, bolts, cross-bars, and/or padlocks with minimum 9/32" hardened steel shackles and bolted, hardened steel hasps. (6715.2)

17. Sliding windows shall be provided with a device in the upper channel of the moving panel to prohibit raising and removing of the moving panel in the closed or partially open position.

18. Sliding windows shall be equipped with locking devices and shall be so constructed and installed that they remain intact and engaged when subjected to the tests specified in Sec.

19. Any release for metal bars, grills, grates or similar devices constructed to preclude human entry that are installed shall be located on the inside of the adjacent room and at least 24 inches from the closest opening through such metal bars, grills, grates or similar devices that exceeds two inches in any dimension. (6715.4)

20. All other openings must be protected by metal bars or grilles with openings of not less than 6 inches in one dimension. (6716.6)

KITCHEN NOTES

ELECTRICAL NOTES ALL KITCHEN COUNTERTOP OUTLETS SHALL BE GFCI PROTECTED. CEC 210.8(A)(6) 12" OR WIDER COUNTERTOPS REQUIRE AN OUTLET. CEC 210.52(C)(1)

 OUTLETS ARE REQUIRED WITHIN 24" OF ANY LOCATION ALONG THE COUNTERTOP. CEC 210.52(C)(1). • KITCHEN OUTLETS MUST BE POSITIONED A MAXIMUM 20" ABOVE COUNTER TOP.

CEC 210.52(C)(5) · APPLIANCES AND SINKS BREAK UP THE COUNTERTOP RUN, REQUIRING EACH SIDE T COMPLY INDIVIDUALLY.CEC 210.52(C)

THE ELECTRICAL OUTLET REQUIREMENTS INCLUDE ISLANDS. PENINSULAS. KITCHEN DESKTOPS, WET BARS, AND SERVING BARS. A LARGE WINDOW ACROSS THE BACK OF A SINK OR LACK OF A BACK SPLASH DOES NOT EXEMPT THE COUNTERTOP FROM THE DUTLET REQUIREMENTS. THESE OUTLETS MAY BE IN A DROP FRONT CABINET FACE. UNDER CABINET PLUG STRIP, POP UP OR TOMBSTONE TYPE RECEPTACLE. CEC 210.52(C)(2), (3), (4)

• 2 – SMALL APPLIANCE BRANCH CIRCUITS ARE REQUIRED FOR KITCHENS. THE LOADS SHALL BE BALANCED AND HAVE NO OTHER OUTLETS. S. CEC 210.52(B)(1), (2)

· INDIVIDUAL DEDICATED CIRCUITS ARE REQUIRED FOR ALL MAJOR APPLIANCES. CEC 210.11(C)(1) & CEC 422.10(A) • THE GARBAGE DISPOSAL CORD IS LIMITED TO A RANGE OF 18" TO 36" LONG. CEC

• DISHWASHER CORD 36" TO 48" LONG. ROMEX INSTALLED WITH A PLUG IS NOT AN APPROVED FLEXIBLE CORD. CEC 422.16(B)(2).

MINIMUM 15 AMP CIRCUIT FOR THE DISHWASHER AND A 15 AMP CIRCUIT FOR THE DISPOSAL. CEC 210.23(A)

• IF USING A SPLIT OUTLET (2 CIRCUITS ON THE SAME YOLK) FOR DISHWASHER/DISPOSAL, PROVIDE A LISTED HANDLE TIE AT THE 2 CIRCUIT BREAKERS AT THE PANEL. CEC210.7(B)

 IC (DIRECT CONTACT) AND AT (AIR TIGHT) RATED CANS ARE REQUIRED FOR RECESSED LIGHTING IF INSTALLED IN AN INSULATED CEILING, FOR OCCUPANCIES WITH A HORIZONTAL (FLOOR/CEILING ASSEMBLY) RATED SEPARATION, THE RECESSED FIXTURES SHALL BE PROTECTED TO THE RATING OF THE SEPARATION (1 HOUR) OR BE LISTED FOR THE REQUIRED PROTECTION. THIS GENERALLY APPLIES TO RESIDENTIAL CONDOMINIUM CONSTRUCTION WHERE UNITS ARE ABOVE OR BELOW OTHER UNITS [CEnC 150(K)1.C]

MECHANICAL

422 16(B)(1)

A DUCTED RESIDENTIAL EXHAUST HOOD IS REQUIRED. A METAL, SMOOTH INTERIOR SURFACE DUCT REQUIRED ON VENT HOOD OR DOWN DRAFT EXHAUST VENT. ALUMINUM FLEX DUCT NOT APPROVED. PROVIDE A BACK DRAFT DAMPER. CMC504.3

MINIMUM 30" VERTICAL CLEARANCE TO COMBUSTIBLES FROM COOK TOP SURFACE IS REQUIRED. [CMC 921.3.1]

KITCHEN LOCAL EXHAUST VENTILATION REQUIRES A MINIMUM RATE OF 100CFM MEETING THE REQUIREMENTS OF ASHRA 62.2. THIS INCLUDES A MAXIMUM SOUND RATING OF 3 SONE @ 100CFM.

PLUMBING

A GAS TEST IS REQUIRED ON PIPING MODIFICATIONS (10 PSI FOR 15 MINUTES). A MAXIMUM 15 PSI GAUGE IS REQUIRED FOR THE GAS TEST. A LOWER GAS PRESSURE TEST MAY BE PERFORMED WHEN USING A RECORDING TEST GAUGE PER SECTION 1214.3 OF THE CPC. [CPC 1213.3]

GAS LINES THAT RUN UNDER A SLAB SHALL RUN THROUGH AN APPROVED, VENTED, GAS TIGHT CONDUIT. [CPC1210.3.4]

AN ACCESSIBLE SHUTOFF VALVE SHALL BE INSTALLED OUTSIDE EACH APPLIANCE AND AHEAD OF THE UNION CONNECTED THERETO AND IN ADDITION TO ANY VALVE ON THE APPLIANCE. [CPC 1210.11]

PROVIDE MAXIMUM 6-FT- LONG LISTED GAS FLEXIBLE CONNECTOR AND SHUT OFF TO FREESTANDING RANGE. [CPC 1212.3.1]

A LISTED AIR GAP IS REQUIRED FOR THE DISHWASHER DRAIN. [CPC 807.3] THE MAXIMUM FLOW RATE OF KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 60 PSI. [CPC402.4]

ADDITIONAL NOTES

MECHANICAL

CLOTHES DRYERS SHALL CONFORM TO THE FOLLOWING: a.- DUCTS SHALL NOT EXCEED A TOTAL COMBINED HORIZONTAL LENGTH OF 14 FEET, INCLUDING TWO 90 DEGREE ELBOW UNLESS PERMITTED BY THE

.- MOISTURE EXHAUST DUCTS SHALL TERMINATE OUTSIDE THE BUILDING AND SHALL BE EQUIPPED WITH BACK DRAFT DAMPER.

.- THE TERMINATION OF THE EXHAUST DUCT SHALL HAVE A MINIMUM CLEARANCE OF 3'FT. FROM OPENINGS INTO THE BUILDING.

ELECTRICAL

- RECEPTACLE OUTLETS SHALL BE INSTALLED IN ACCORDANCE WITH: a.- AT LEAST ONE OUTLET ACCESSIBLE AT GRADE LEVEL AND NOT MORE THAN 6-1/2-FT. ABOVE GRADE SHALL BE INSTALLED AT THE FRONT AND **BACK OF THE DWELLING**

2.- ALL NEW 125-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE RECEPTACLES SHALL HAVE A GROUND-FAULT CIRCUIT-INTERRUPTER (GFCI OR GFI) PROTECTION WHEN INSTALLED IN THE FOLLOWING LOCATIONS: DISHWASHERS & OUTDOOR (WEATHER-RESISTIVE, TOO)

.- ALL 120-VOLT, SINGLE-PHASE 15- AND 20-AMPERE BRANCH CIRCUITS SUPPLYING NEW OUTLETS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTEI (AFCI), COMBINATION-TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT WHEN INSTALLED IN THE SINGLE-FAMILY RESIDENCE (BATHROOMS & GARAGES ARE EXCEPT)

- RECEPTACLES, CORD CONNECTORS, AND ATTACHMENT PLUGS SHALL COMPLY WITH THE FOLLOWING: a. ALL 125-VOLT, 15- AND 20-AMPERE RECEPTACLES IN DWELLINGS SHALL BE LISTED TAMPER-RESISTANT

.- EXHAUST FANS WITH INTEGRAL LIGHTING SYSTEM SHALL BE SWITCHES SEPARATELY FROM LIGHTING SYSTEM OR HAVE A LIGHTING SYSTEM THAT CAN BE MANUALLY TURNED ON AND OFF WHILE ALLOWING THE FAN TO CONTINUE TO OPERATE FOR AN EXTENDED PERIOD OF TIME.

ADDITIONAL NOTES

SMOKE ALARMS SHALL BE INSTALLED ON THE CEILING OR WALL (BETWEEN 4"± AND 12": OF THE CEILING) IN ALL SLEEPING ROOMS, EACH AREA/HALLWAY ADJACENT TO SLEEPING ROOMS, EACH STORY OF THE BUILDING, AND IN ANY BASEMENT. (CBC 907.2.11, CRC 314)

CARBON MONOXIDE (CO) ALARMS SHALL BE INSTALLED ON THE CEILING OR WALL (ABOVE THE DOOR HEADER) IN EACHAREA/HALLWAY ADJACENT TO SLEEPING ROOMS EACH OCCUPIABLE STORY, AND WITHIN A BEDROOM IF THE BEDROOM OR ATTACHED BATHROOM CONTAINS A FUEL-BURNING APPLIANCE. CO ALARMS ARE NOT REQUIRED IF THERE IS NO FUEL BURNING APPLIANCE OR FIREPLACE IN THE HOUSE AND WHERE THE GARAGE IS DETACHED FROM THE HOUSE..(CBC 907.2.11, CRC 315)

BATHROOM NOTES

SAFETY GLAZING (I.E., TEMPERED) WINDOWS IN BATHROOMS [CRC 308.4.5]

WINDOWS IN ANY PORTION OF A WALL ENCLOSING TUBS AND/OR SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE STANDING SURFACE · WINDOWS WITHIN 60" MEASURED HORIZONTALLY FROM WATER'S EDGE OF A BATHTUB OR WHIRLPOOL TUB OR FROM EDGE OF A SHOWER AND WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE.

Water Conserving Plumbing Fixtures [California Civil Code 1101.4(a)]

THE CALIFORNIA CIVIL CODE REQUIRES THAT ALL EXISTING NON-COMPLIANT PLUMBING FIXTURES (BASED ON WATER EFFICIENCY) THROUGHOUT THE HOUSE BE UPGRADED WHENEVER A BUILDING PERMIT IS ISSUED FOR REMODELING IMPROVEMENTS EVEN IF THE FIXTURES ARE NOT WITHIN THE SCOPE OF WORK. RESIDENTIAL BUILDING CONSTRUCTED AFTER JANUARY 1, 1994 ARE EXEMPT FROM THIS REQUIREMENT. THE FOLLOWING TABLE SHOWS THE FIXTURES THAT ARE CONSIDERED TO BE NON-COMPLAINT AND THE TYPE OF WATER-CONSERVING PLUMBING FIXTURE THAT SHOULD BE INSTALLED:

TYPE OF FIXTURE	Non-Compliant plumbing fixture	Required Water-Conserving plumbing Fixture (max. rate) CalGreen 4.303
WATER CLOSET (TOILET)	MORE THAN 1.6 GAL./ FLUSH	1.28 GALLONS / FLUSH
URINAL	MORE THAN 1.0 GAL./ FLUSH	0.125 GAL. / FLUSH FOR WALL MOUNT; 0.50 FOR OTHERS
SHOWER HEAD	MORE THAN 2.5 GAL./ MINUTE	2.0 GALLONS / MINUTE AT 80 PSI
FAUCET-BATHROOM	MORE THAN 2.2 GAL./ MINUTE	1.2 GALLONS / MINUTE AT 80 PSI
FAUCET-KITCHEN	MORE THAN 2.2 GAL./ MINUTE	1.8 GALLONS / MINUTE AT 80 PSI

PLUMBING

 TOILET AND/OR BIDET REQUIRE A TOTAL MINIMUM 30" CLEAR SPACE (15" FROM CENTERLINE TO EACH SIDE) AND A MINIMUM OF 24" CLEAR SPACE IN FRONT OF THE FIXTURE. URINALS REQUIRÉ A TOTAL MINIMUM 24" CLEAR SPACE (12" FROM

CENTERLINE TO EACH SIDE). [CPC 402.5] WHEN ADDITIONAL TOILETS (WATER CLOSETS) ARE INSTALLED, A MAXIMUM OF THREE (3) TOILETS ARE ALLOWED ON A 3" WASTE LINE. [TABLE 703.2, FOOTNOTE 4] PROVIDE SAFETY GLAZING (TEMPERED) GLASS FOR TUB/SHOWER ENCLOSURES & DOORS, [CRC R308,4,5]

 SHOWERS AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING VALVE TYPE CONFORMING TO ASSE 1016 OR ASME A112.18.1/CSA B125.1. HANDLE POSITIONS SHALL BE ADJUSTED TO DELIVER A MAXIMUM MIXED WATER SETTING OF 120° F. [CPC 408.3]

• THE HOT WATER VALVE SHALL BE INSTALLED ON THE LEFT SIDE WHERE TWO SEPARATE HANDLES CONTROL ARE PROVIDED. [417.5] A MINIMUM 12"X12" ACCESS PANEL IS REQUIRED WHEN A SLIP JOINT P-TRAP WASTE &

TOILET / BIDETS

– THE WATER SUPPLY TO THE BIDET SHALL BE PROTECTED BY AN AIR GAP OR VACUUM BREAKER. [410.2, 603.3.2,603.3.5, 603.3.6] – THE MAXIMUM HOT WATER TEMPERATURE DISCHARGING FROM THE BIDET SHALL BE LIMITED TO 110° F BY A DEVICE THAT IS IN ACCORDANCE WITH ASSE 1070 OR CSA B125.3. WATER HEATER THERMOSTATS SHALL NOT BE CONSIDERED A CONTROL FOR MEETING THIS PROVISION, [410.3]

OVERFLOW IS PROVIDED FOR INSPECTION & REPAIR. [402.10]

SHOWER STALLS SHALL HAVE A MINIMUM INTERIOR FINISHED AREA OF 1,024 SQ.-IN. AND BE ABLE TO ENCOMPASS A 30" DIAMETER CIRCLE. [408.6] STALL SHOWER DOOR TO OPEN OUT WITH A MINIMUM 22" WIDE OPENING. [408.5] - SITE BUILT SHOWER STALLS SHALL BE INSTALLED IN ACCORDANCE TO SECTION 408.7 - SHOWER STALLS AND BATHTUBS WITH SHOWER HEADS INSTALLED, SHALL HAVE WALLS FINISHED WITH A NONABSORBENT SURFACE FOR A MINIMUM OF 6 FEET ABOVE THE FLOOR. (CBC 1210 AND CRC R307.2)

ELECTRICAL

STALLS. [406.9(C)]

PROVIDE A 20-AMP GFCI PROTECTED RECEPTACLE WITHIN 36" OF THE OUTSIDE EDGE OF THE EACH BATHROOM SINK BASIN. [CEC 210.52(D)] - RECEPTACLE SHALL BE LOCATED ON A WALL OR PARTITION THAT IS ADJACENT TO THE BASIN, ON THE COUNTERTOP, OR INSTALLED ON THE SIDE OR FACE OF THE BASIN CABINET NOT MORE THAN 12" BELOW THE TOP OF THE BASIN.

- ALL RECEPTACLES SHALL BE TAMPER-RESISTANT (TR). [406.12] A MINIMUM OF ONE 120-V/20-AMP BRANCH CIRCUIT IS REQUIRED FOR BATHROOM RECEPTACLE(S). SUCH CIRCUIT SHALL HAVE NO OTHER RECEPTACLES. [210.11(C)(3)] ALL 125-V, SINGLE-PHASE, 15- AND 20-AMP RECEPTACLES INSTALLED IN BATHROOMS SHALL HAVE GFCI PROTECTION. THE GFCI SHALL BE INSTALLED IN A READILY

ACCESSIBLE LOCATION. [210.8] RECEPTACLES SHALL NOT BE INSTALLED WITHIN OR DIRECTLY OVER A BATHTUB OR SHOWER STALL AND WITHIN 5-FT OF THE PERIMETER OF BATHTUBS OR SHOWER

Bathroom Lighting Requirements [CEnC 150.0(k)]
• ALL INSTALLED LUMINAIRE (LIGHTING) SHALL BE HIGH EFFICACY IN ACCORDANCE WITH TABLE 150.0-A. A MINIMUM OF ONE HIGH EFFICACY LUMINAIRE SHALL BE

CONTROLLED BY A VACANCY SENSOR. • SWITCHES SHALL NOT BE INSTALLED WITHIN TUBS OR SHOWER SPACES UNLESS INSTALLED AS PART OF A LISTED TUB OR SHOWER ASSEMBLY AND WITHIN 5-FT OF THE PERIMETER OF BATHTUBS OR SHOWER STALLS. [CEC 404.4(C)] ALL RECESSED LIGHTING SHALL BE "IC RATED AND AIRTIGHT CERTIFIED"

[CENC150.0(K)C] • NO PENDANT LIGHTING SHALL BE LOCATED WITHIN A ZONE MEASURED 3-FT HORIZONTALLY AND 8-FT VERTICALLY FROM THE TOP OF A BATHTUB RIM OR SHOWER STALL THRESHOLD. [CEC 410.10(D)]

• LUMINAIRES LOCATED WITHIN THE ACTUAL OUTSIDE DIMENSIONS OF THE BATHTUB OR SHOWER TO A HEIGHT OF 8-FT VERTICALLY FROM THE TOP OF THE TUB RIM AND SHOWER THRESHOLD SHALL BE OF ENCLOSED & GASKETED TYPE LISTED FOR DAMP OR WET LOCATIONS AND BE GFCI PROTECTED. [550.14(D), 551.53(B)] • FOR OCCUPANCIES WITH A HORIZONTAL (FLOOR/CEILING ASSEMBLY) FIRE-RATED SEPARATION, THE RECESSED FIXTURES SHALL BE PROTECTED TO THE SAME RATING OF THE SEPARATION (1-HOUR) OR BE LISTED FOR THE REQUIRED FIRE PROTECTION. THIS GENERALLY APPLIES TO RESIDENTIAL CONDOMINIUM CONSTRUCTION WHERE UNITS ARE ABOVE OR BELOW OTHER UNITS. [CBC 714.4.2]

Bathroom Exhaust s [CEnC 150.0(k)]

• LOCAL EXHAUST SYSTEM SHALL BE INSTALLED IN A BATHROOM CONTAINING A TUB, SHOWER, SPA, OR SOME OTHER SIMILAR SOURCE OF MOISTURE AND VENTED TO THE OUTDOORS WITH A MINIMUM EXHAUST RATE OF 50 CFM (20 CFM IF CONTINUOUS OPERATION). A MAXIMUM OF 3 SONE RATING (1 FOR CONTINUOUS) IS REQUIRED FOR THE (ENERGY STAR) EXHAUST FAN. FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE AND CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50% TO 80%. [CENC 150(O), ASHRAE STD. 62.2, CALGREEN 4.506.11

• BATHROOMS THAT ONLY HAVE A TOILET AND SINK DO NOT REQUIRE LOCAL EXHAUST IF THERE IS AN (MIN. 3-SQ-FT) OPERABLE WINDOW. [CRC R303.3] • EXHAUST DUCTS SHALL TERMINATE OUTSIDE THE BUILDING AND EQUIPPED WITH BACK-DRAFT DAMPERS. DAMPERS ARE NOT REQUIRED WHEN THE EXHAUST FAN OPERATE CONTINUOUSLY. TERMINATION SHALL NOT BE LESS THAN 3-FT FROM A PROPERTY LINE, 10-FT FROM A FORCED AIR INLET, AND 3-FT FROM OPENINGS INTO THE BUILDING. DUCTS SHALL NOT DISCHARGE ONTO A PUBLIC WALKWAY. [CMC 504.1,502.2.1]

ENERGY TITLE

 ALL ACCESSIBLE JOINTS, PENETRATIONS, AND OTHER OPENINGS IN THE BUILDING ENVELOPE ABOUT THE AREA OF WORK SHALL BE CAULKED, GASKETED, WEATHER STRIPPED, OR OTHERWISE SEALED. [110.7]



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GENERAL NOTES

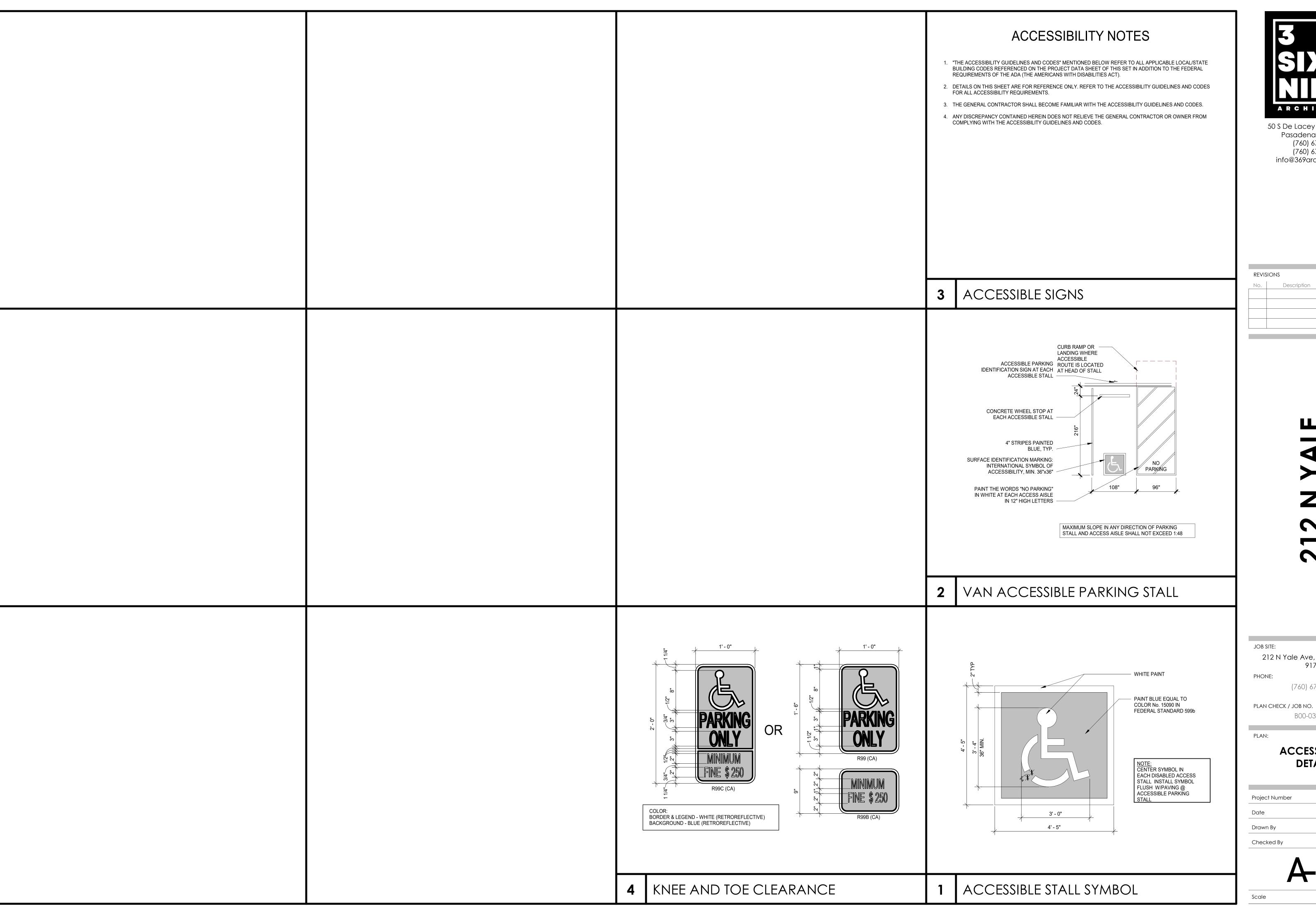
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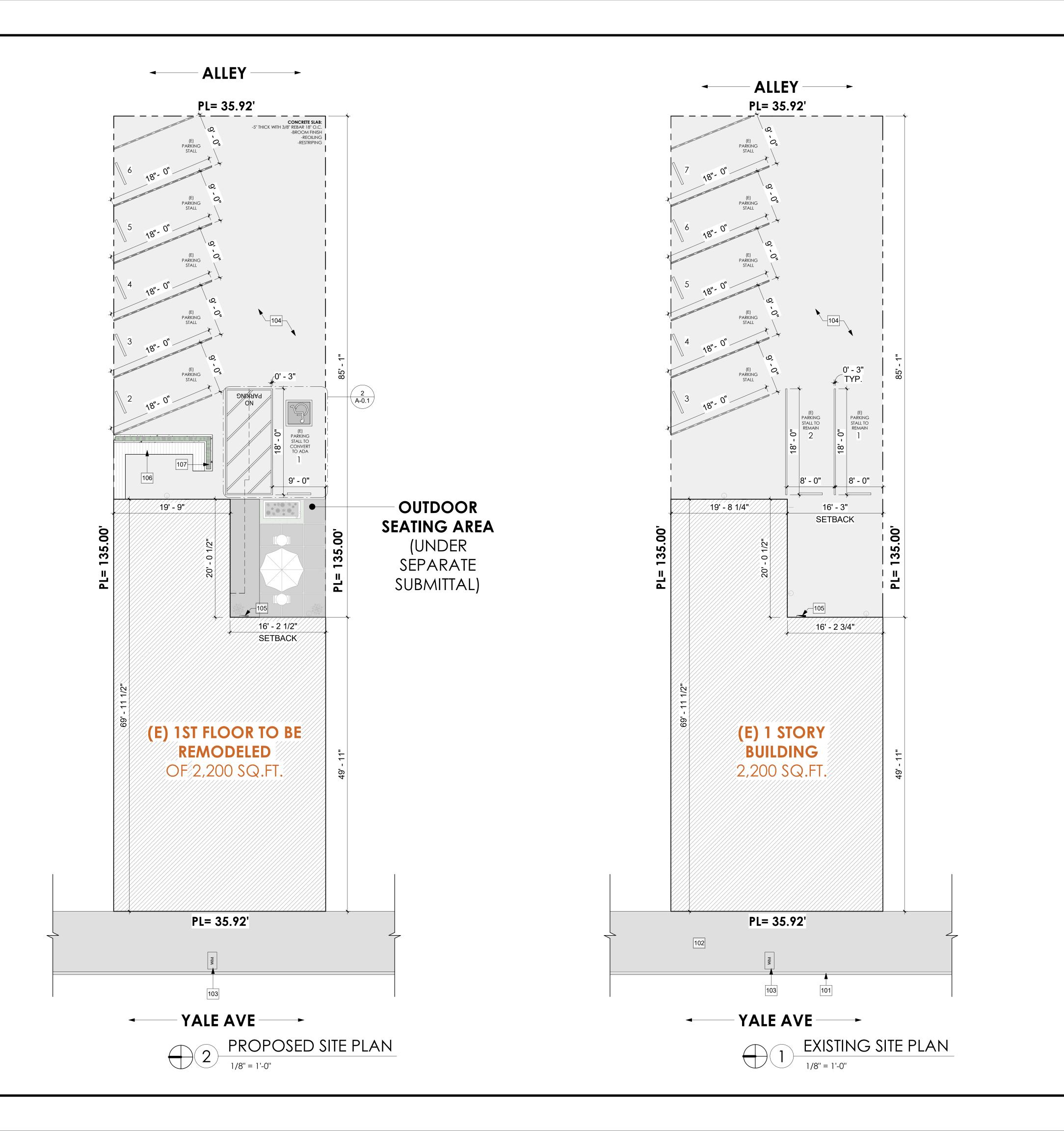
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ACCESSIBILITY DETAILS

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101 (E) CURB TO REMAIN

LEGEND:

— – – — PROPERTY LINE

AREA OF CONSTRUCTION

TANKLESS WATER HEATER

ROSEMARY

"SALVIA ROSMARINUS"

FESCUE GRASS "FESTUCA ARUNDINACEA"

SENECIO

MANDRALISCAE

-LISCAE "BLUE SENECIO"

BOTANICAL NAME | QTY. | HEIGHT | SPREAD | IRRIGATION

PLAN

PLAN

PLAN

OLIVE TREE PER 20'-0" 15'-0" 2-3 TIMES PER WEEK

1'-0" 2'-0"

2'-0" 0'-6"

PER 0'-12" 1'-0"

AIR CONDESER

GAS METER

——— PATH OF TRAVEL

FESC.

MANDA

EUROPEA

PLANT LEGEND

SYMBOL ABBREV

ELECTRICAL METER

- 102 (E) SIDEWALK TO REMAIN
- 103 (E) WATER METER
- 104 (E) PARKING TO REMAIN
- 105 (E) ELECTRICAL METER 106 NEW WOOD BENCH (SEE DETAIL 1/A5.0)
- 107 NEW PLANTER WALL (SEE DETAIL 1/A5.0)

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REVISIONS Description 05-21-2025 **BUILDING &** PLANNING

212 N YA ARCHITECTURAL & PLAN REVIEW

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PLAN CHECK / JOB NO. B00-036-177

2-3 TIMES

PER WEEK

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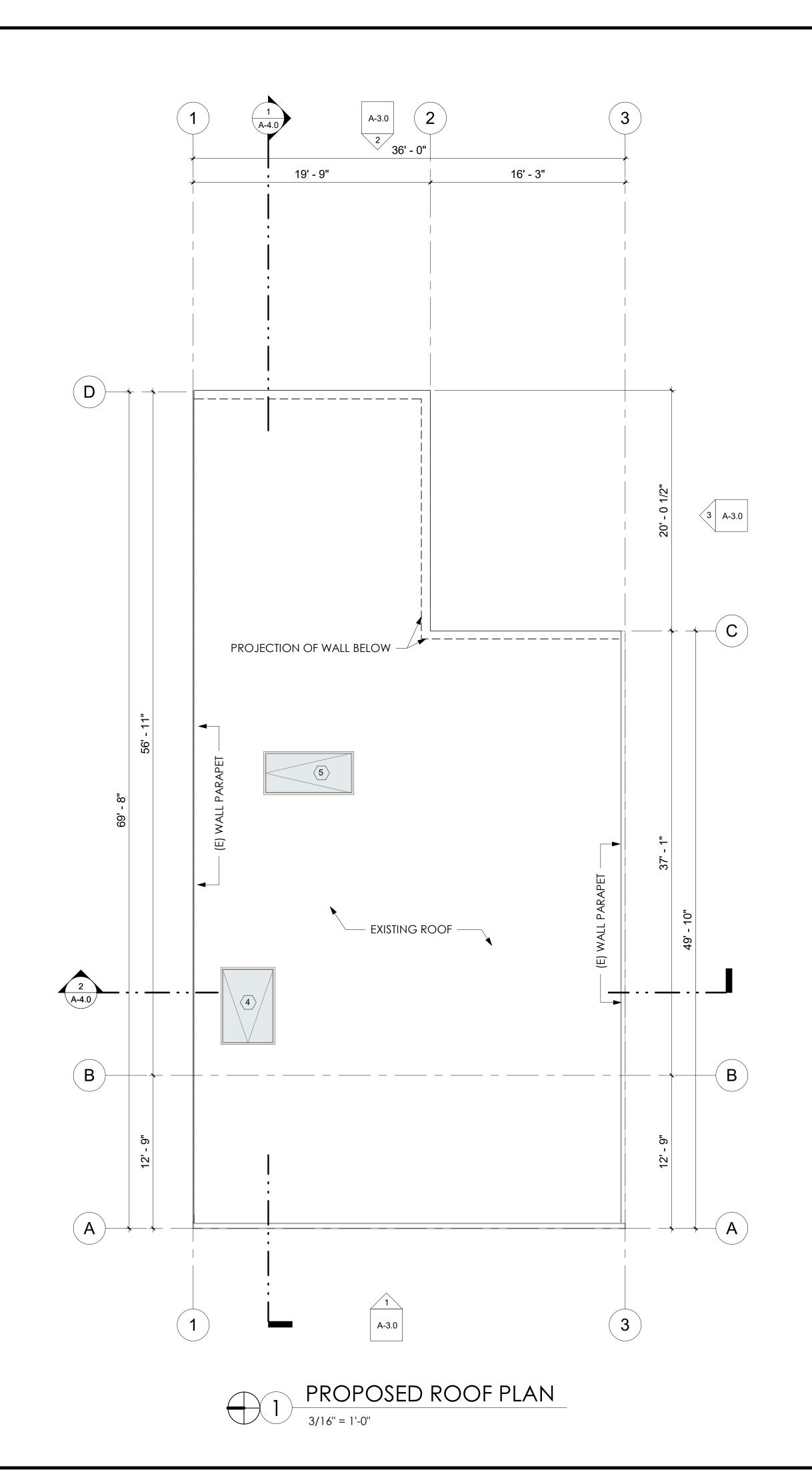
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PER WEEK

EXISTING & PROPOSED SITE PLAN

Project Number	Project Number	A
Date	Issue Date	:38 A
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NOTES:

- WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY, AND BE RESPONSIBLE FOR AII DIMENSIONS AND CONDITIONS ON THE JOB. THE DESIGNER MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS OR CONDITIONS SHOWN ON THESE DRAWINGS. SHOP DRAWINGS MUST BE SUBMITTED TO THE DESIGNER FOR COMPLIANCE REVIEW BEFORE PROCEEDING WITH FABRICATION.
- 2. All DIMENSIONS ARE TO FINISH UNLESS NOTED OTHERWISE.
- 3. USE 2X6 STUDS ON PLUMBING WALLS (VERIFY LOCATIONS WITH DESIGNER)
- 4. DO NOT SCALE DRAWINGS.
- 5. PROVIDE ULTRA FLUSH WATER CLOSETS FOR All NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
- PROVIDE MIN. 6' HIGH NON-ABSORBENT WALL ADJACENT TO SHOWER AND APPROVED SHATTER RESISTANT MATERIALS FOR SHOWER ENCLOSURE.
- SMOKE ALARMS SHALL BE LOCATED IN EACH SLEEPING ROOM & HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTUATION OF ONE ALARM WILL ACTIVATE AII THE ALARMS WITHIN THE INDIVIDUAL DWELLING.
- CARBON MONOXIDE ALARM: FOR BUILDINGS WITH FUEL-BURNING APPLIANCES AND/OR ATTACHED GARAGES, PROVIDE AN APPROVED CARBON MONOXIDE ALARM
- A. OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
- ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS
- PROVIDE A NOTE: CARBON MONOXIDE ALARM SHALL BE INTERCONNECTED HARD-WIRED WITH BATTERY BACKUP.
- D. BATTERY CARBON MONOXIDE ALARM SEP. BE PERMITTED IN EXISTING DWELLING UNITS WHERE NO CONSTRUCTION IS TAKING PLACE. (VERIFY)
- 9. ELECTRICAL FIRE PLACE, MANUFACTURE: MODERN FLAMES (SEE SPECIFICATION
- SHEET AT GN-3)
- 10. INSTALLATION AND USE OF FIREPLACE SHALL BE IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS.
- 11. WOOD BURNING FIREPLACES AND OTHER WOOD BURNING DEVICES ARE PROHIBITED.
- 12. THIS PROJECT SHALL COMPLY WITH CBC 11B-202.3 AND 11B-202.4. ALL NEW CONSTRUCTION AND ALTERATIONS SHALL MEET CURRENT ACCESSIBILITY STANDARDS. PATH OF TRAVEL ELEMENTS FROM THE PUBLIC RIGHT-OF-WAY AND PARKING TO THE ALTERED AREA SHALL BE REVIEWED AND UPGRADED AS REQUIRED.

DOOR SCHEDULE

STATUS	SYM	SIZE	TYPE	QTY
EXISTING	Α	3'-0" X 6'-8"	GLASS DOOR	4
EXISTING	В	3'-0" X 6'-8"	GLASS DOOR	1
NEW	С	3'-0" X 6'-8"	GLASS DOOR	6
NEW	Е	10'-0" X 6'-8"	BI-FOLD DOORS	2
NEW	F	3'-0" X 6'-8"	GLASS DOOR	1
NEW	G	3'-0" X 6'-8"	DUTCH DOOR	1

WINDOW SCHEDULE

STATUS	SYM	SIZE	TYPE	QTY
EXISTING	1	1'-4" X 2'-0"	FIXED WINDOW	2
EXISTING	2	3'-0" X 5'-0"	SINGLE HUNG	1
EXISTING	3	3'-6" X 5'-0"	SINGLE HUNG	1
EXISTING	4	4'-5" X 6'-4"	SKYLIGHT	1
EXISTING	5	53'-6" X 7'-0"	SKYLIGHT	1
EXISTING	6	3-9" X 7'-11"	FIXED WINDOW	2
EXISTING	7	1'-7" X 4'-9"	FIXED WINDOW	4
EXISTING	8	3'-10" X 7'-11"	FIXED WINDOW	1
EXISTING	9	4'-3" X 7'-11"	FIXED WINDOW	1
EXISTING	10	4'-2" X 7'-11"	FIXED WINDOW	1
EXISTING	11	3'-2" X 3'-10"	ANGLED WINDOW	1
EXISTING	12	3'-9" X 3'-10"	ANGLED WINDOW	1
EXISTING	13	3'-10" X 3'-10"	ANGLED WINDOW	1
NEW	14	3'-0" X 4'-0"	SINGLE HUNG	2

LEGEND:

2x STUD WALL TO REMAIN.

2x STUD WALL TO BE DEMOLISHED.

2x STUDS D.F. No.2 @ 16" O.C. UNLESS OTHERWISE NOTE (SEE STRUCTURAL PLANS)

2x FURRING WALL

INTERCONNECTED HARD-WIRED CARBON MONOXIDE ALARM WITH A BATTERY BACKUP.

INTERCONNECTED PHOTOELECTRIC SMOKE ALARM. 110 V. / HARD WIRE W/BATTERY BACKUP. AND BATTERY OPERATE FOR EXISTING LIVING AREA NOTE: SHALL BE INSTALLED NOT LESS THAT A 3 FT. HORIZONTAL DISTANCE FROM THE DOOR OR OPENING OF A BATHROOM THAT CONTAINS A BATHTUB OR SHOWER.

EXHALIST FA

A.- EXHAUST FAN SHALL BE MINIMUM **50 CFM** CAPABILITY.
B.- EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OG THE BUILDING.
C.- EXHAUST FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE.

EXHAUST FAN WITH,5-AIR CHANGE PER HR. MIN. EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE E.F. OF THE BUILDING. **100 CFM**

→ INDICATES DIRECTION OF SLOPE

INDICATES FLOOR DROP

X

WINDOW SYMBOL

DOOR SYMBOL

MOTION SENSOR

EXIT SIGN



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PROPOSED ROOF PLAN

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EXTERIOR ELEVATIONS

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3/8'' = 1'-0''



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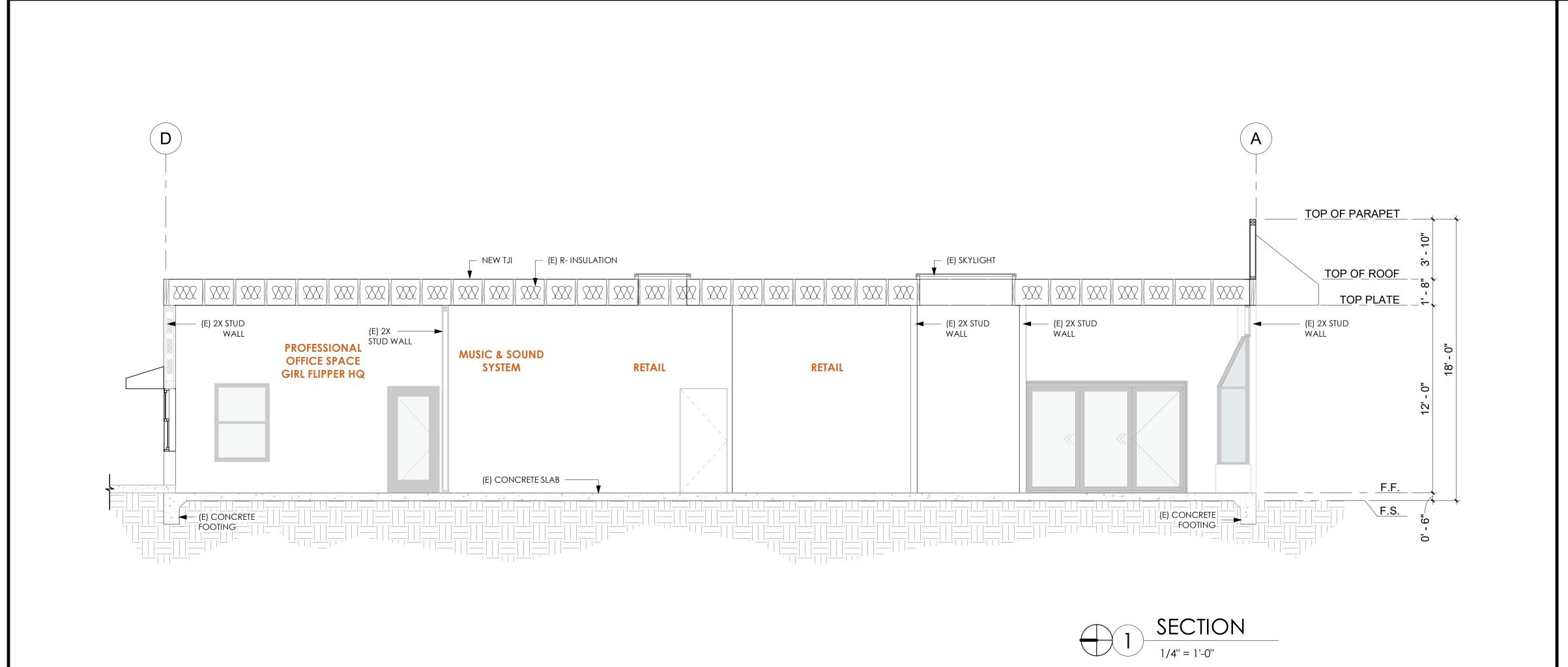
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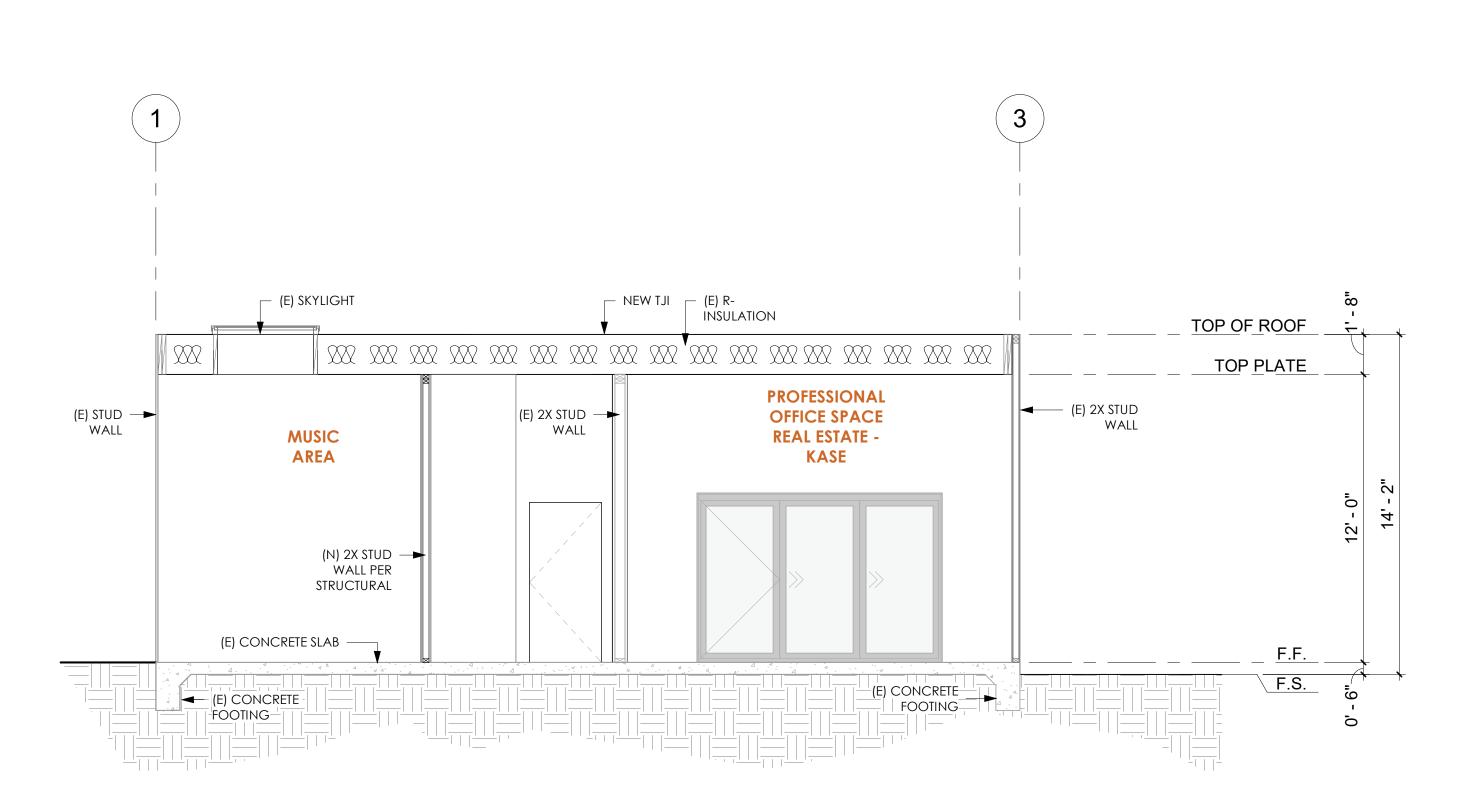
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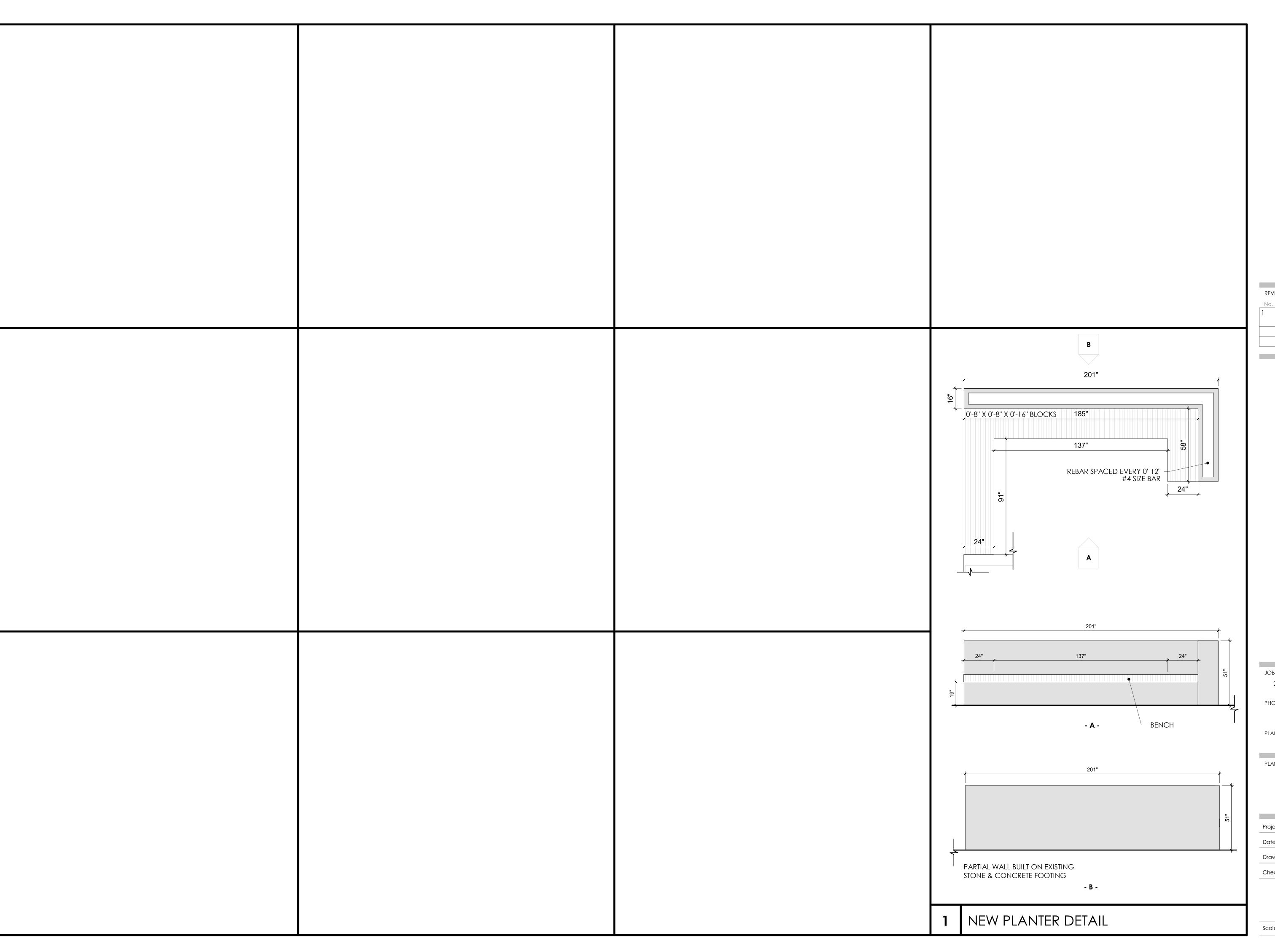
1/4'' = 1'-0''

Scale





SECTION





REVISIONS

No. Description Date

1 BUILDING & 05-21-2025
PLANNING

212 N YALE

ARCHITECTURAL & SITE

PI AN REVIEW

JOB SITE:

212 N Yale Ave, Claremont, CA
91711

: (760) 673-6837

PLAN CHECK / JOB NO. B00-036-177

PLAN:

ARCHITECTURAL DETAILS

Project Number

Date

Drawn By

Checked By

Project Number

State

A State

Checker State

Project Number

State

Checker State

State

Checke

A-5.0

cale 3/8" = 1'-0"



212 N Yale Ave, Claremont, CA

(760) 673-6837

B00-036-177

MULLION:

BLACK METAL

NEW GLASS DOOR:

MATERIAL: GLASS

AND ALUMINUM,

EXISTING DOOR.

NOTES: REFER TO

SPECIFICATIONS

DOOR SCHEDULE -

TO MATCH

TYPE F FOR

DETAILED

COLOR:

MATERIAL BOARD

Project Number	Project Number	. <
Date	Issue Date	< <
Drawn By	Author].]]



REVIS	SIONS	
No.	Description	Date
5	ARCH. & SITE PLAN REVIEW	07-23-2025





PLAN CHECK / JOB NO.

Project Number	Project Number
Date	Issue Date

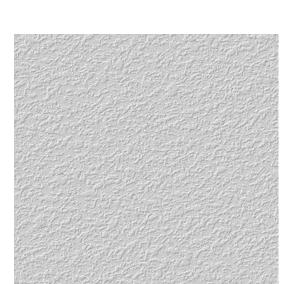
Project Number	Project Number
Date	Issue Date
Drawn By	Author
Checked By	Checker



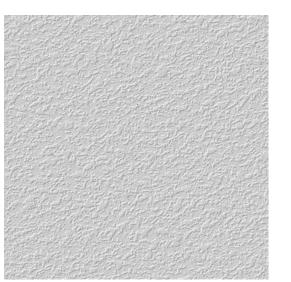


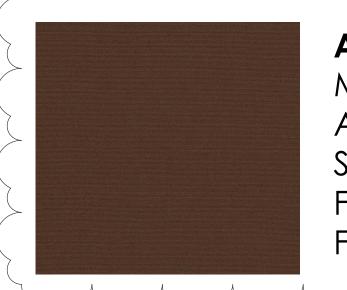


TILE: MANUFACTURER: TILEBAR BRICK RUSTICO NEPO BROWN MATTE 2CM PORCELAIN PAVER 3"x12"



FINISH: (E) WHITE STUCCO





AWNING:

MANUFACTURER: SUNBRELLA® AWNING FABRIC: TRUE BROWN

SKU 4621-0000

FINISH: WATER REPELLENT

FABRIC CONTENT: 100% SUNBRELLA® ACRYLIC

NOTE: SIGNAGE AND AWNINGS SHOWN ARE FOR ILLUSTRATIVE PURPOSES ONLY. A SEPARATE SIGNAGE APPLICATION WILL BE SUBMITTED FOR REVIEW AND APPROVAL.